

# NEW HOME FOR: AMARIS HOMES

## FOR: RAY & LOLLI PRUBAN

IT IS UNLAWFUL FOR THIS PRINT TO BE REPRODUCED UNLESS THE WORD "ORIGINAL" SHOWS IN THE COLOR RED  
**ORIGINAL**  
 PERMISSION ONLY TO BE GRANTED BY THE AUTHOR NAMED IN THE DRAWN BY BOX

WAIVER  
 EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. GENERAL CONTRACTOR & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. Distinctive Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

**FRONT ELEVATION:**  
 TOTAL SQ. FT. OF FRONT = 253.5  
 15% OF FRONT AREA = 128 SQ. FT.  
 TOTAL SQ. FT. OF GLASS = 131.43 (15.4%)  
 (INCLUDING FRONT ENTRY DOOR)

PORCH CEILING TO HAVE BEAD BOARD PANELING W/ 1/4" ROUND TRIM

NOTE: NO PENETRATIONS ALLOWED ON ELEVATION FACING STREET

2'-6" OVERHANGS @ EAVES  
 1'-0" OVERHANGS @ GABLE ENDS  
 (UNLESS OTHERWISE NOTED)

ARCHITECTURAL ASPH SHINGLES  
 ALUMINUM SOFFIT & FASCIA

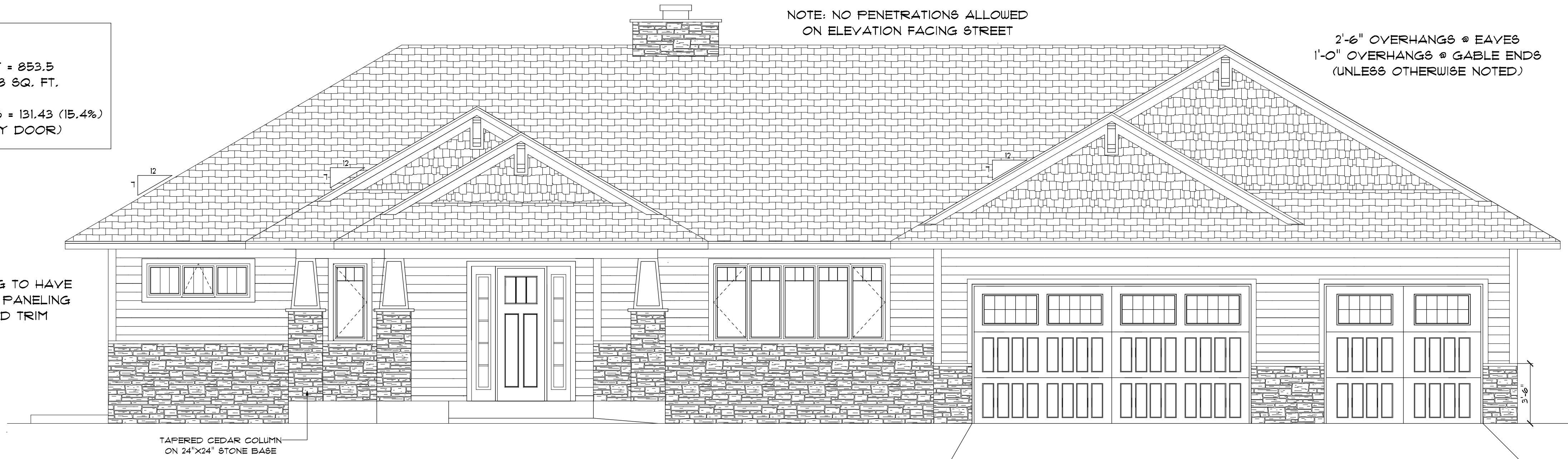
5/2" FRIEZE BOARD UNDER EAVES (FRONT ELEVATION ONLY)

LP SHAKES (PER ELEVATION)

5/2" CORNER TRIM  
 3/2" WINDOW & DOOR TRIM ON ALL ELEVATIONS

LP LAP SIDING

STONE PER ELEVATION (VERIFY BRAND & COLOR)



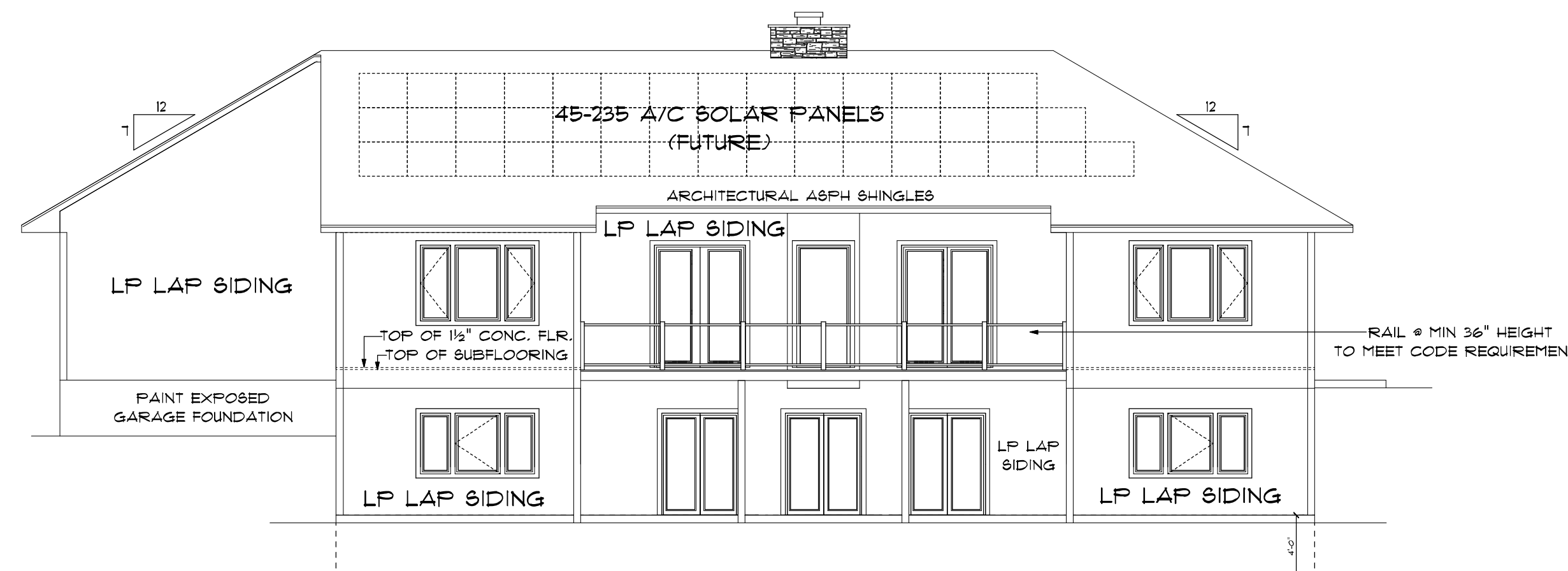
TAPERED CEDAR COLUMN ON 24"x24" STONE BASE

DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REPRESENTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL FINISHED GRADE

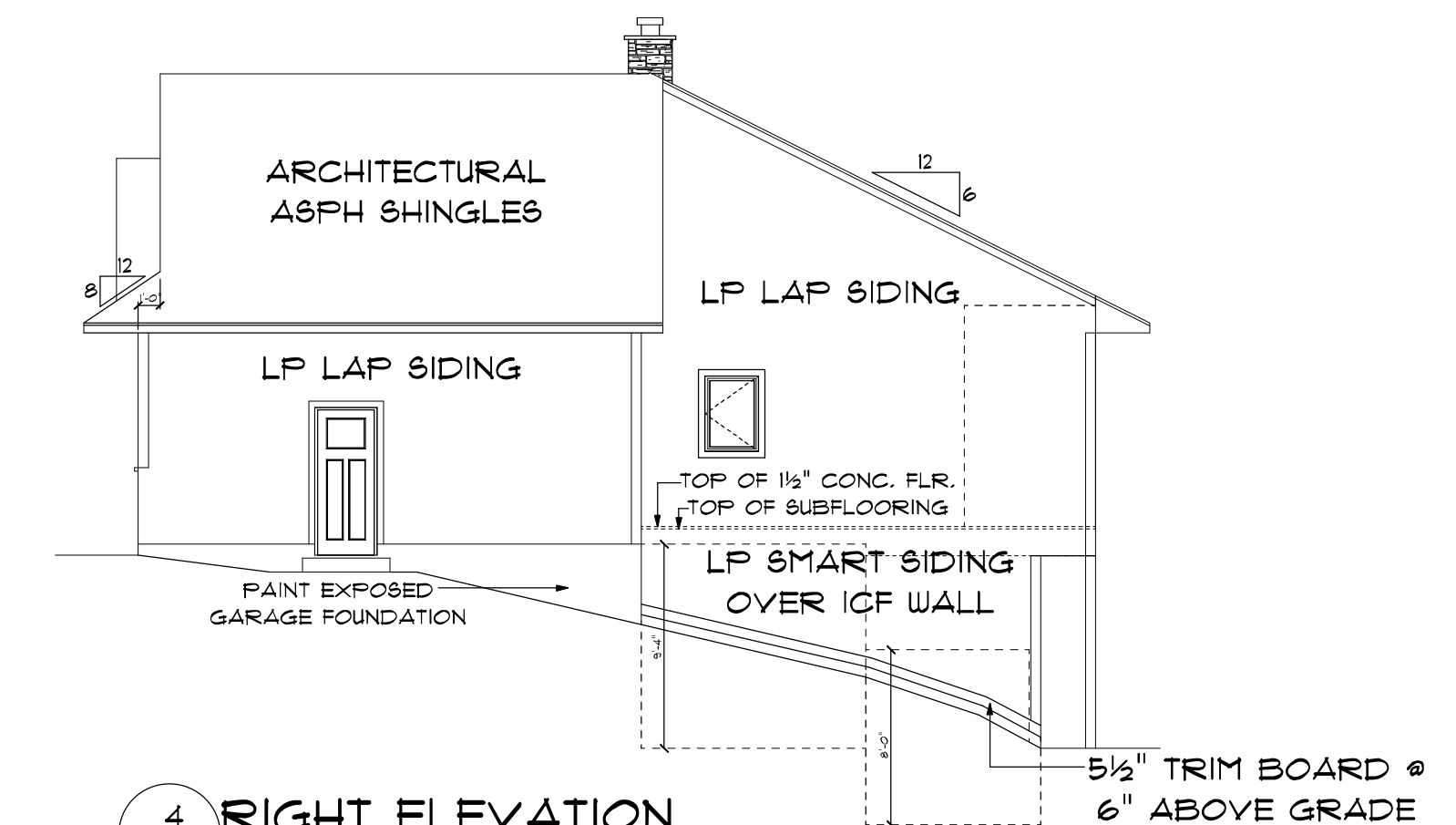
**1 FRONT ELEVATION**  
 A1 SCALE: 1/4" = 1'-0" (ON 24X36)  
 SCALE: 1/8" = 1'-0" (ON 11X17)  
 TOTAL FINISHED SQ. FT. - 3191  
 (TOTAL CONDITIONED FLOOR AREA - 3239)  
 03:21 PM  
 April 11, 2013

**SIDE & REAR ELEVATIONS:**  
 TOTAL SQ. FT. = 2120  
 10% OF FRONT AREA = 213 SQ. FT.  
 TOTAL SQ. FT. OF GLASS = 288.41 (13.54%)

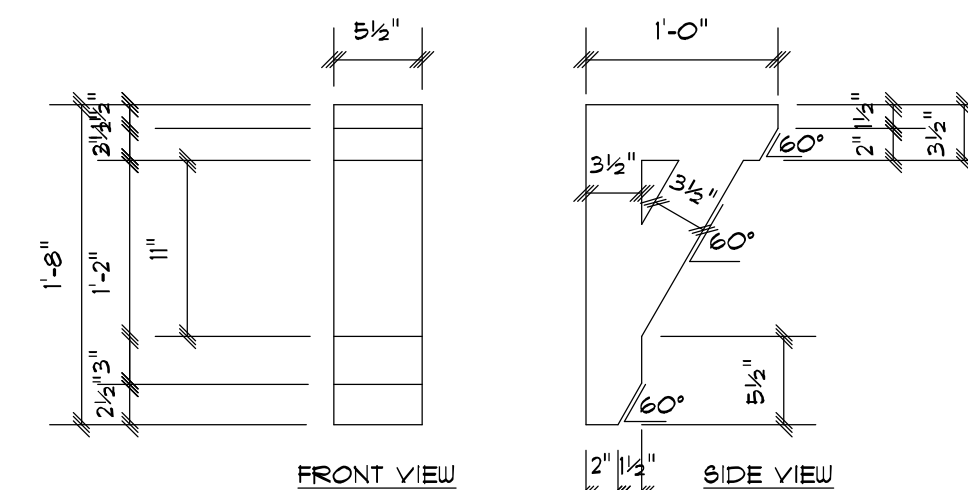
ATTIC VENTILATION:  
 NET FREE AREA TO BE EQUAL TO 1/30TH OF THE ATTIC AREA OR 1/30TH OF ATTIC AREA PROVIDED WITH AT LEAST 80% IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



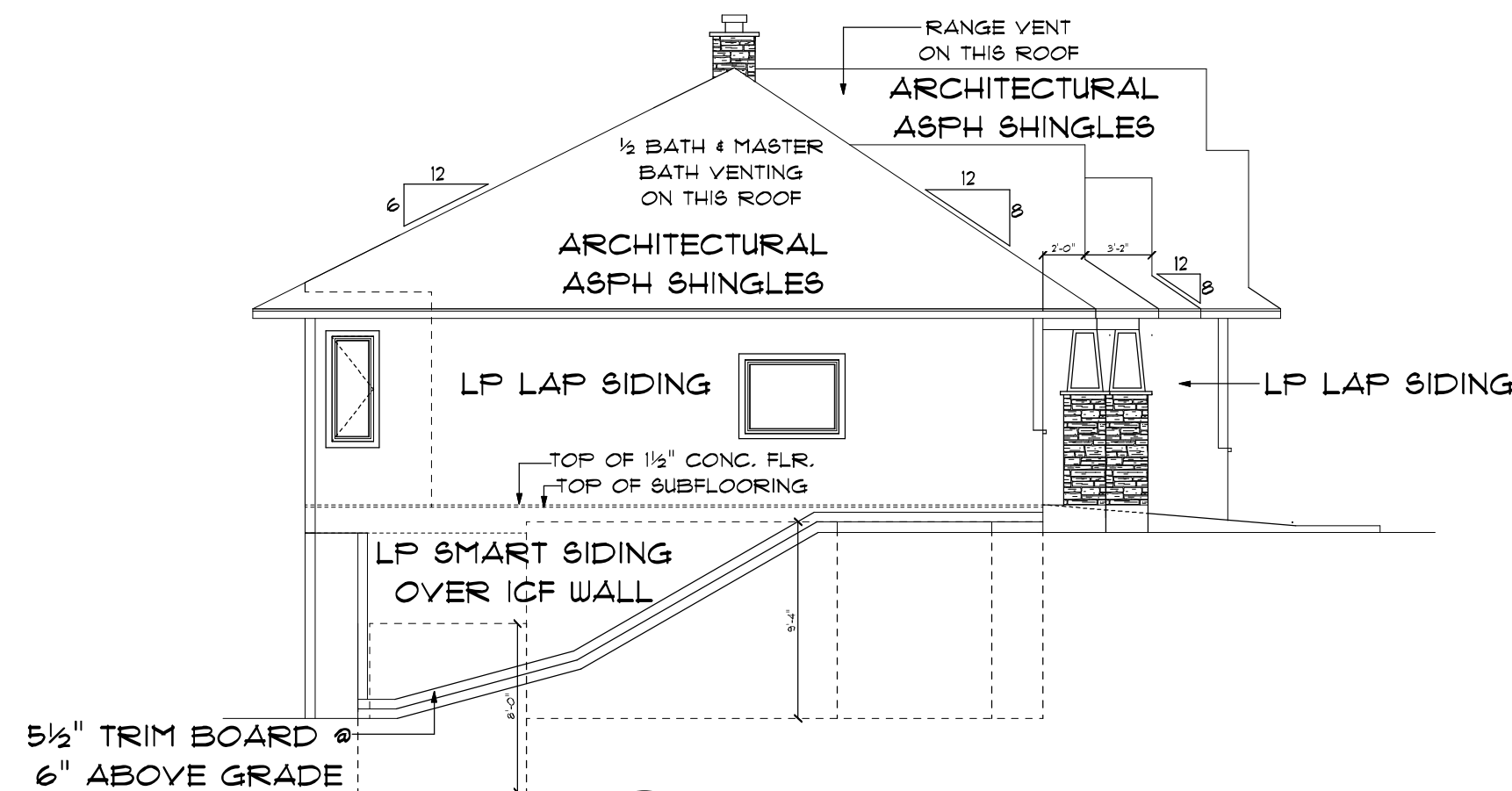
**3 REAR ELEVATION**  
 A1 SCALE: 1/8" = 1'-0" (ON 24X36)  
 SCALE: 1/16" = 1'-0" (ON 11X17)



**4 RIGHT ELEVATION**  
 A1 SCALE: 1/8" = 1'-0" (ON 24X36)  
 SCALE: 1/16" = 1'-0" (ON 11X17)



**DECOR. BRACKET DETAIL**  
 SCALE: 1" = 1'-0"



**2 LEFT ELEVATION**  
 A1 SCALE: 1/8" = 1'-0" (ON 24X36)  
 SCALE: 1/16" = 1'-0" (ON 11X17)

NOTE: IF ANY DISCREPANCIES BETWEEN THE PLANS AND SPECS OCCUR, THE SPECIFICATIONS OVERRIDE THE PLANS. IF ANY SUCH DISCREPANCY IS FOUND BY THE SUB-CONTRACTOR, THE SUB-CONTRACTOR SHALL NOTIFY BUILDER PRIOR TO PROCEEDING. SUB-CONTRACTORS MAY BE LIABLE TO REPAIR AND/OR REPLACE AT SUB-CONTRACTORS EXPENSE ANY ERRORS DUE TO DISCREPANCIES COMPLETED ACCORDING TO THE PLANS THAT ARE IN ERROR OF SPECS.

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REVISION:  
 F-002 4/11/2013  
 P. PRELIMINARY  
 PF. PRELIM. FINAL  
 F. FINAL  
 CO. CHANGE ORDER

PROJECT #  
 13-100  
 REVISED AS OF:

DRAWN BY:  
 NICOLE ELLIOTT  
 APPROVED BY:

SHEET  
 A1 OF 5

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**GENERAL CONSTRUCTION NOTES**

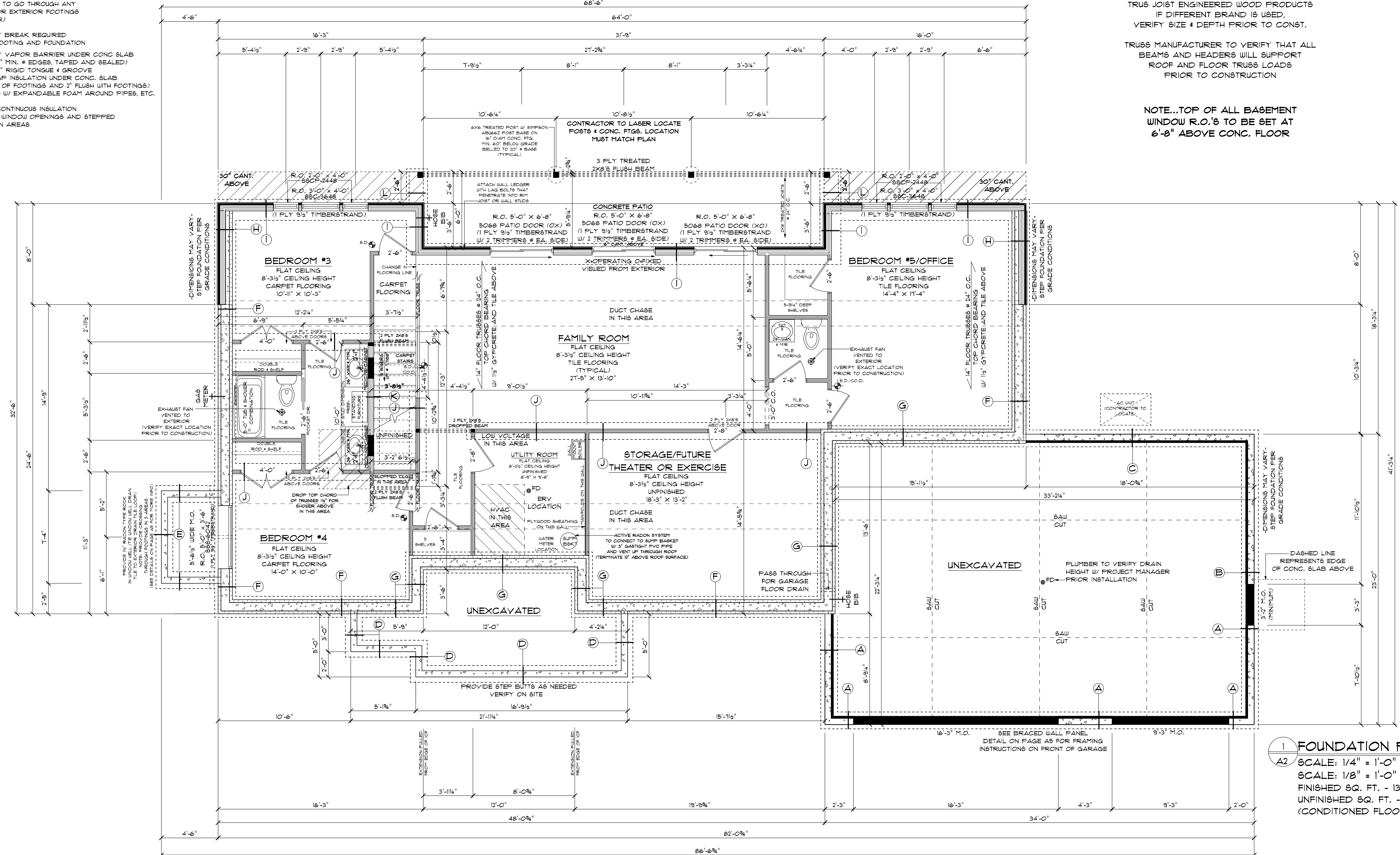
- SOLID SHADED AREAS REF. SOLID BEARING DOWN TO CONC.
- INTERIOR BEARING WALLS REQUIRE BLOCKING @ MIDPOINT
- INTERIOR & EXTERIOR DRAIN TILE TO GO THROUGH ANY INTERIOR OR EXTERIOR FOOTINGS (NOT UNDER)
- CAPILLARY BREAK REQUIRED BETWEEN FOOTING AND FOUNDATION
- 6 MIL POLY VAPOR BARRIER UNDER CONC. SLAB (LAPPED 12" MIN. @ EDGES, TAPED AND SEALED)
- PROVIDE 4" RIGID TONGUE & GROOVE OR SHIP-LAP INSULATION UNDER CONC. SLAB (2" ON TOP OF FOOTINGS AND 2" FLUSH WITH FOOTINGS)
- \*FILL GAPS W/ EXPANDABLE FOAM AROUND PIPES, ETC.
- PROVIDE CONTINUOUS INSULATION ICF AT ALL WINDOW OPENINGS AND STEPPED FOUNDATION AREAS

NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED ON THIS PRINT ARE WINDSOR WINDOWS

ALL BEAMS/HEADERS ON THIS PLAN ARE TRUSS JOIST ENGINEERED WOOD PRODUCTS IF DIFFERENT BRAND IS USED, VERIFY SIZE & DEPTH PRIOR TO CONST.

TRUSS MANUFACTURER TO VERIFY THAT ALL BEAMS AND HEADERS WILL SUPPORT ROOF AND FLOOR TRUSS LOADS PRIOR TO CONSTRUCTION

NOTE...TOP OF ALL BASEMENT WINDOW R.O.'S TO BE SET AT 6'-8" ABOVE CONC. FLOOR



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**ORIGINAL**

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- A) 8" FOURED CONC. WALL W/ 2" LEDGE @ 10" HEIGHT (14'-0" HEIGHT TOTAL) ON 16" X 8" CONC. FTG
- B) 8" FOURED CONC. WALL W/ 2" LEDGE @ 10" HEIGHT (16'-0" HEIGHT TOTAL) ON 16" X 8" CONC. FTG
- C) 8" FOURED CONC. WALL W/ 2" LEDGE @ 10" HEIGHT (19'-4" HEIGHT TOTAL) ON 16" X 8" CONC. FTG
- D) 6" FOURED CONC. WALL (8'-10" HEIGHT TOTAL) ON 16" X 8" CONC. FTG. NOTE: TOP OF CONC. FDN. WALL TO BE 6" BELOW TOP OF HOUSE ICF FDN. WALL
- E) 6" FOURED CONC. WALL (9'-4" HEIGHT TOTAL) ON 16" X 8" CONC. FTG
- F) 1 CR8E TAPER TOP ICF & CR8E STANDARD ICF (9'-4" TOTAL WALL HEIGHT) ON 20" X 8" CONC. FTG
- G) 1 CR8E TAPER TOP ICF & CR8E STANDARD ICF (9'-4" TOTAL WALL HEIGHT) INSERT REBAR FOR SLAB SUPPORT ON 20" X 8" CONC. FTG
- H) 2X6 STUDS @ 24" O.C. 1 CR8E TAPER TOP ICF 2 CR8E STANDARD ICF (14'-0" TOTAL WALL HEIGHT) ON 20" X 8" CONC. FTG \*INSERT 2-2X4'S ON INSIDE OF ICF 4 FLUSH W/ TOP OF FOAM PRIOR TO WALL FOUR \*INSERT REBAR FOR SLAB SUPPORT @ BASEMENT FLOOR AND/OR CONC. PATIO
- J) 2X4 STUDS @ 24" O.C. 4X6 TRT. WOOD SUPPLIED BY LUMBER YARD AND SET BY FRAMER ON 16" X 8" CONC. FTG
- K) 2X6 STUDS @ 24" O.C. 6X6 TRT. WOOD SUPPLIED BY LUMBER YARD AND SET BY FRAMER ON 16" X 8" CONC. FTG
- L) 1 CR8E TAPER TOP ICF 2 CR8E STANDARD ICF (14'-0" TOTAL WALL HEIGHT) ON 20" X 8" CONC. FTG. NOTE: TOP OF ICF FDN. WALL TO BE 6" BELOW TOP OF WALK-OUT ICF FDN. WALL

**FOUNDATION PLAN**

A2 SCALE: 1/4" = 1'-0" (ON 24X36)

SCALE: 1/8" = 1'-0" (ON 11X17)

FINISHED SQ. FT. - 1387

UNFINISHED SQ. FT. - 417

(CONDITIONED FLOOR AREA - 1558)

WAIVER

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REVISION: F-002 4/11/2013 P1 PRELIMINARY P2 PRELIMINARY P3 FINAL P4 CHANGE ORDER

PROJECT: 13-100 REVISED AS OF:

DRAWN BY: NICOLE ELLIOTT APPROVED BY:

**SHEET**

A2 OF 5

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GENERAL CONSTRUCTION NOTES  
 SOLID SHADED AREAS REF. SOLID BEARING DOWN TO CONC.  
 O.S.B. SUBFLOORING AT ALL FLOORING AREAS  
 INTERIOR BEARING WALLS HAVE BLOCKING @ MIDPOINT  
 NO WOOD FLOORING UNDER KITCHEN BASE CABINETS  
 2 BOTTOM PLATES FOR 1 1/2" GYPCRETE ON ENTIRE MAIN FLOOR

NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED ON THIS PRINT ARE: WINDSOR WINDOWS

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TRUSS MANUFACTURER TO VERIFY THAT ALL BEAMS AND HEADERS WILL SUPPORT ROOF AND FLOOR TRUSS LOADS PRIOR TO CONSTRUCTION

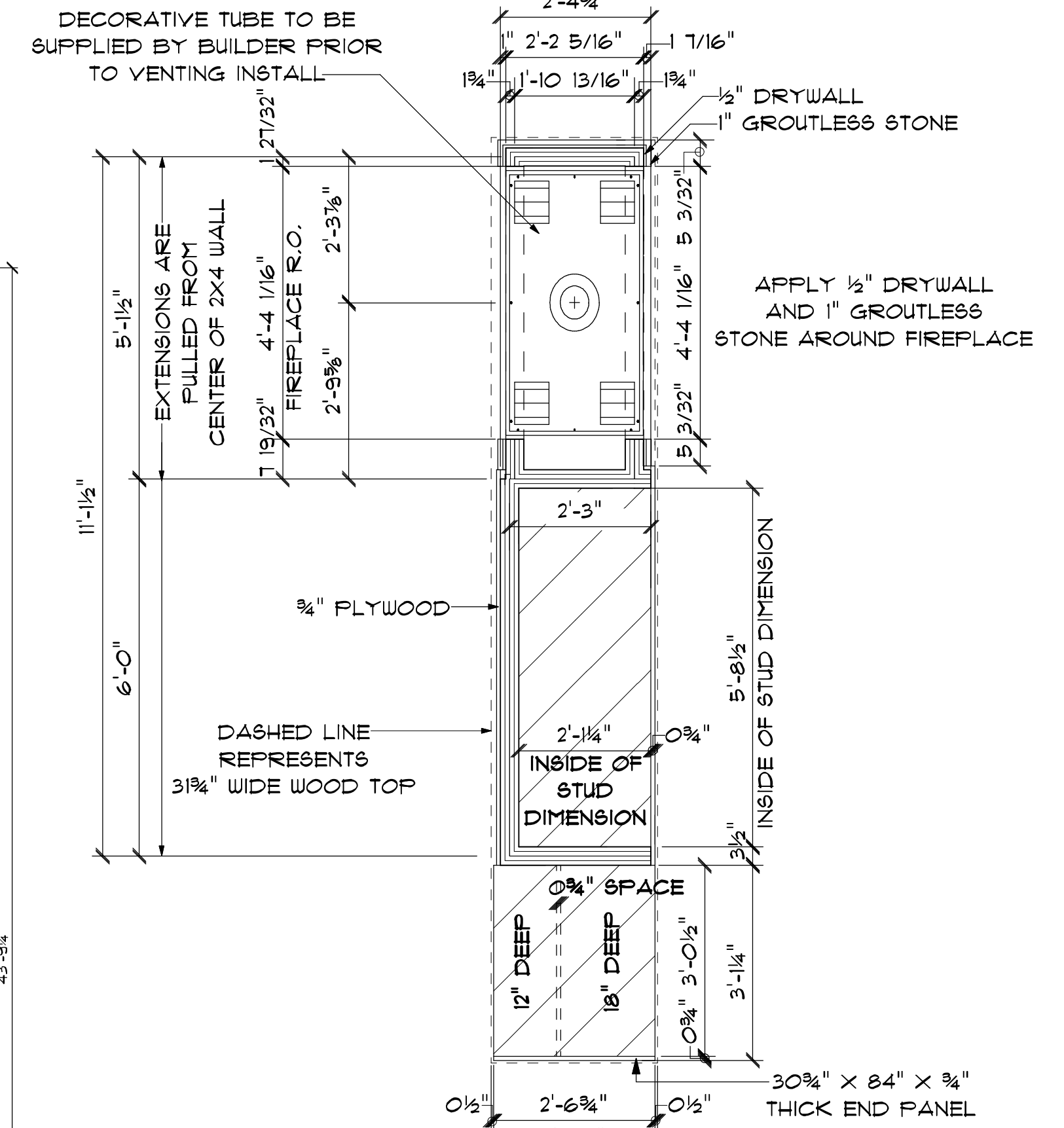
NOTE...TOP OF ALL MAIN FLOOR WINDOW R.O.'S TO BE SET AT 8'-1 1/2" ABOVE SUBFLOOR, UNLESS NOTED OTHERWISE.

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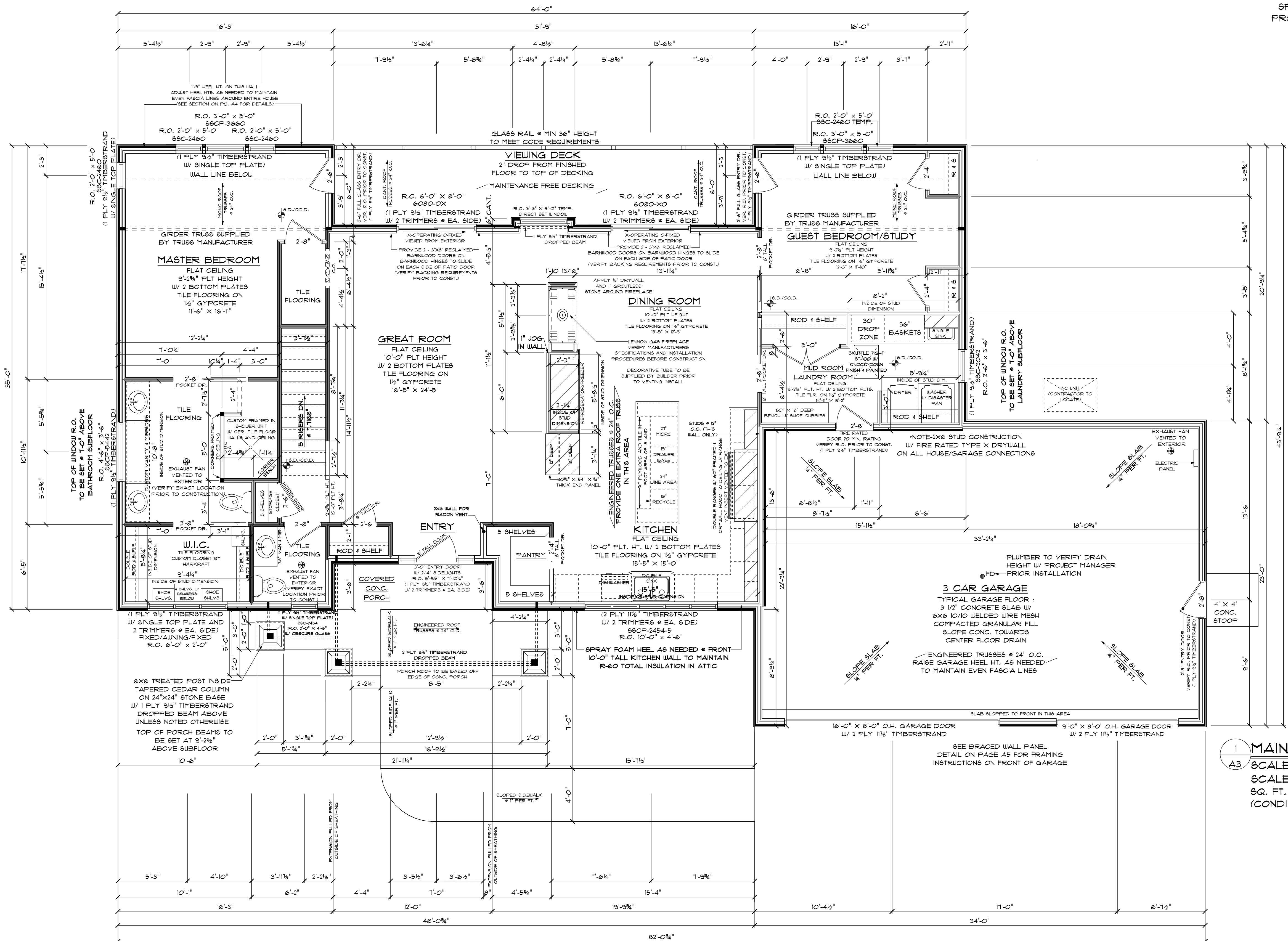
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LENNOX GAS FIREPLACE VERIFY MANUFACTURERS SPECIFICATIONS AND INSTALLATION PROCEDURES BEFORE CONSTRUCTION



2 FIREPLACE DETAIL  
 A3 SCALE: 1/2" = 1'-0" (ON 24X36)  
 SCALE: 1/4" = 1'-0" (ON 11X17)



1 MAIN FLOOR PLAN  
 A3 SCALE: 1/4" = 1'-0" (ON 24X36)  
 SCALE: 1/8" = 1'-0" (ON 11X17)  
 SQ. FT. - 1804  
 (CONDITIONED FLOOR AREA - 1681)

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE SHEATHING

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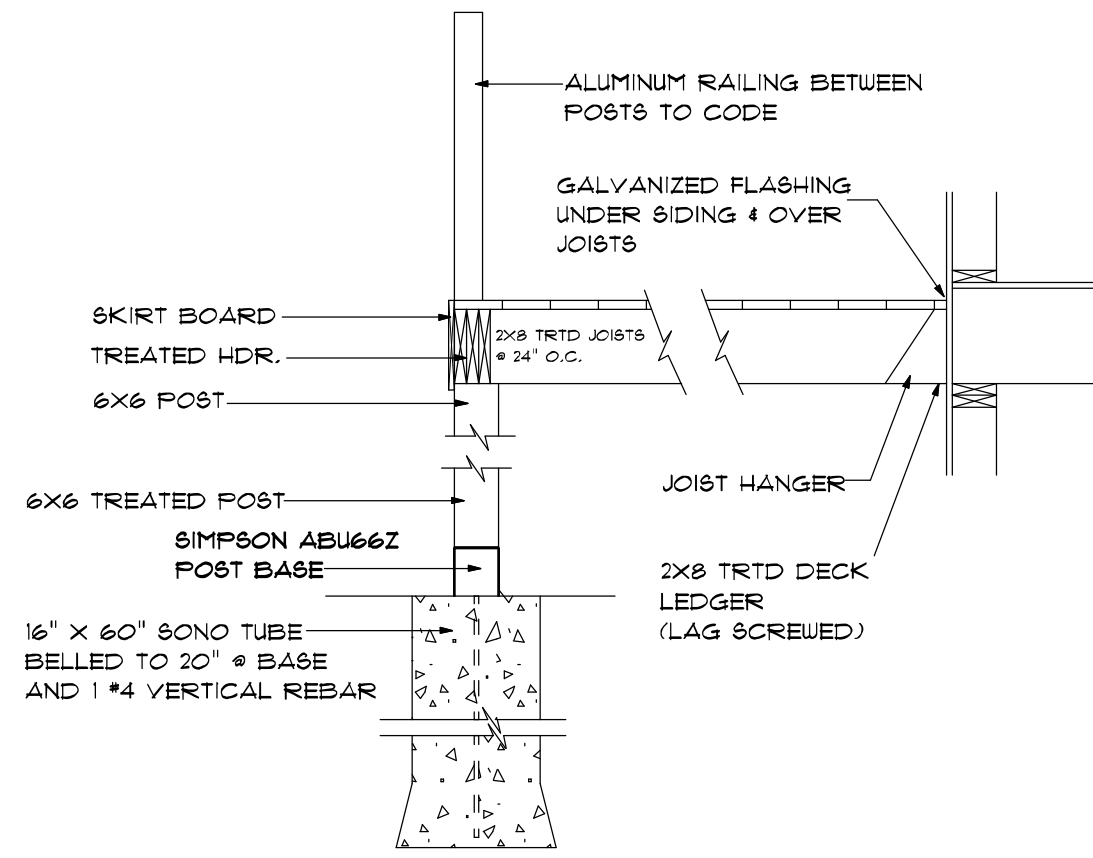
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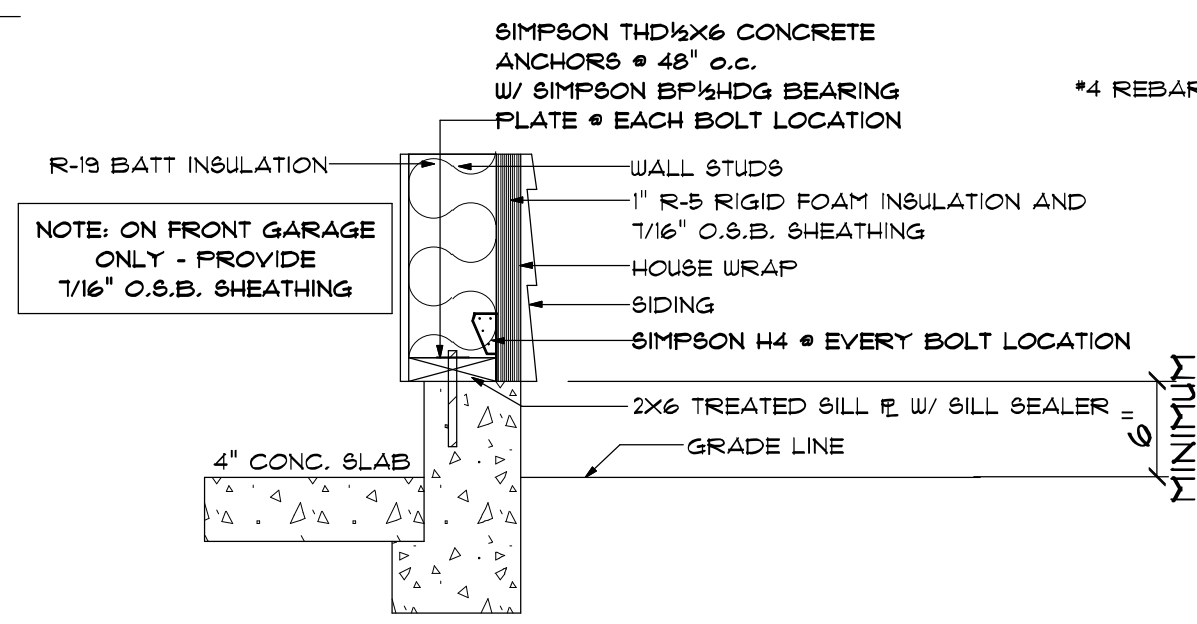
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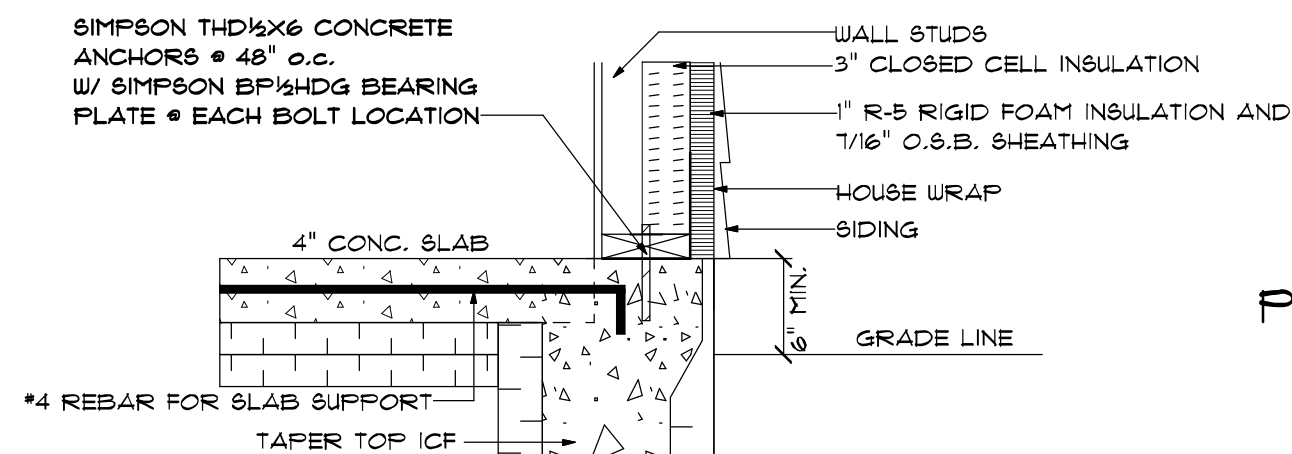
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DECK FRAMING DETAILS  
SCALE: 1/2" = 1'-0"



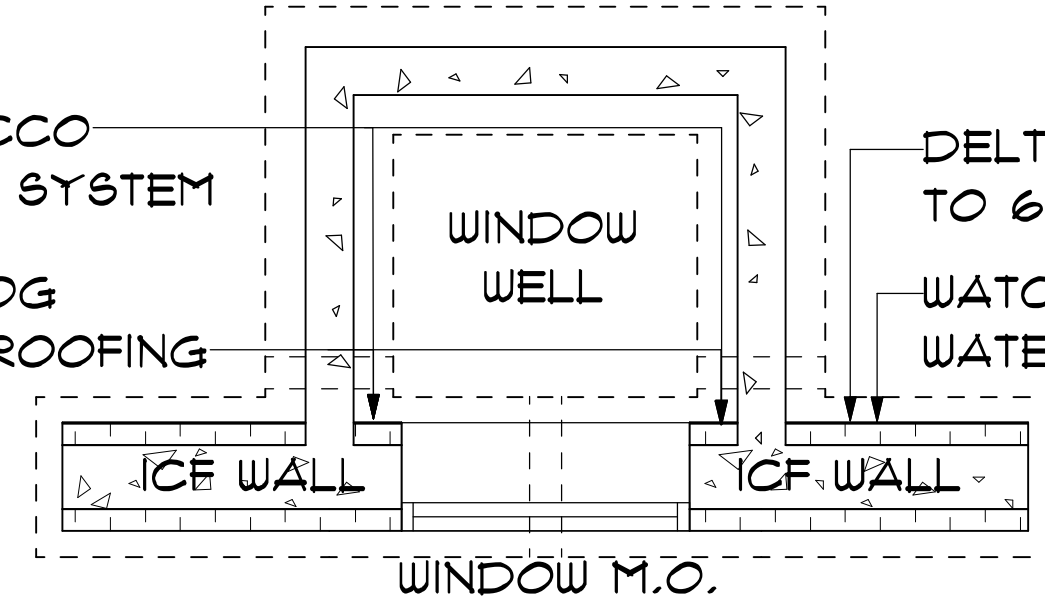
GARAGE FDN. DETAIL @ Poured WALLS  
SCALE: 1" = 1'-0"



WALK-OUT WALL DETAIL  
SCALE: 1" = 1'-0"

PROVIDE WATCHDOG WATERPROOFING AROUND EXTERIOR OF WINDOW WELL

EFIS STUCCO COATING SYSTEM  
WATCHDOG WATERPROOFING



WINDOW WELL INSULATION DETAIL  
SCALE: 1/2" = 1'-0"

DELTA M5 DIMPLE BOARD TO 6" BELOW GRADE

WATCHDOG WATERPROOFING

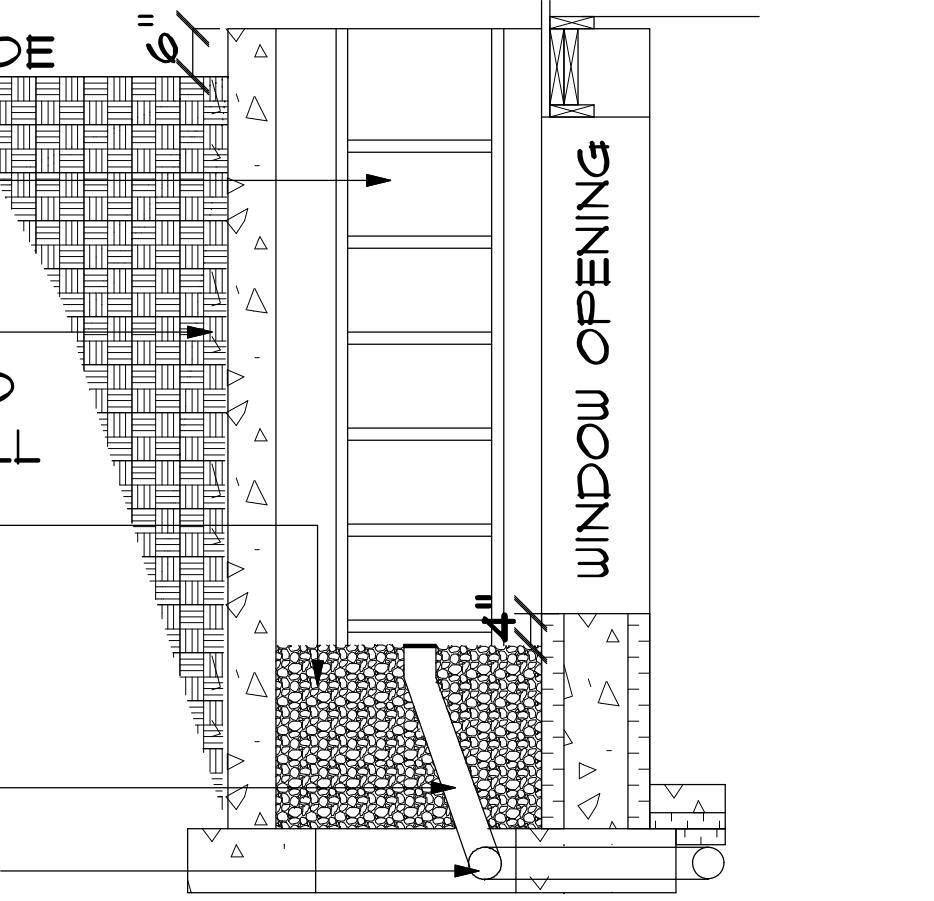
WINDOW WELL W/ LADDER

WATCHDOG WATERPROOFING AROUND EXTERIOR OF WINDOW WELL

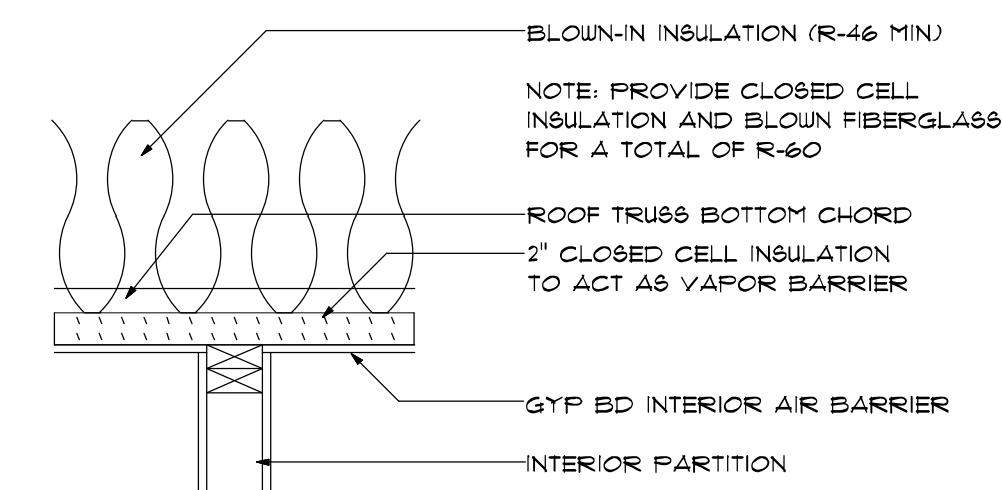
1 1/2" RADON TYPE ROCK

TIE WINDOW WELL DRAIN TILE W/ DRAIN CAP TO EXTERIOR & EXTERIOR DRAIN TILE LOOP

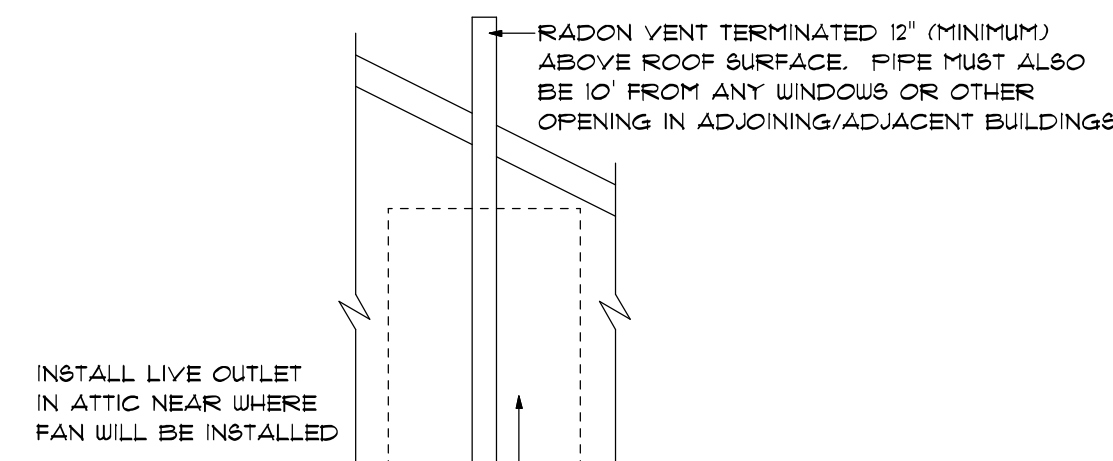
EXTERIOR DRAIN TILE TO CROSS THROUGH WINDOW WELL FOOTINGS



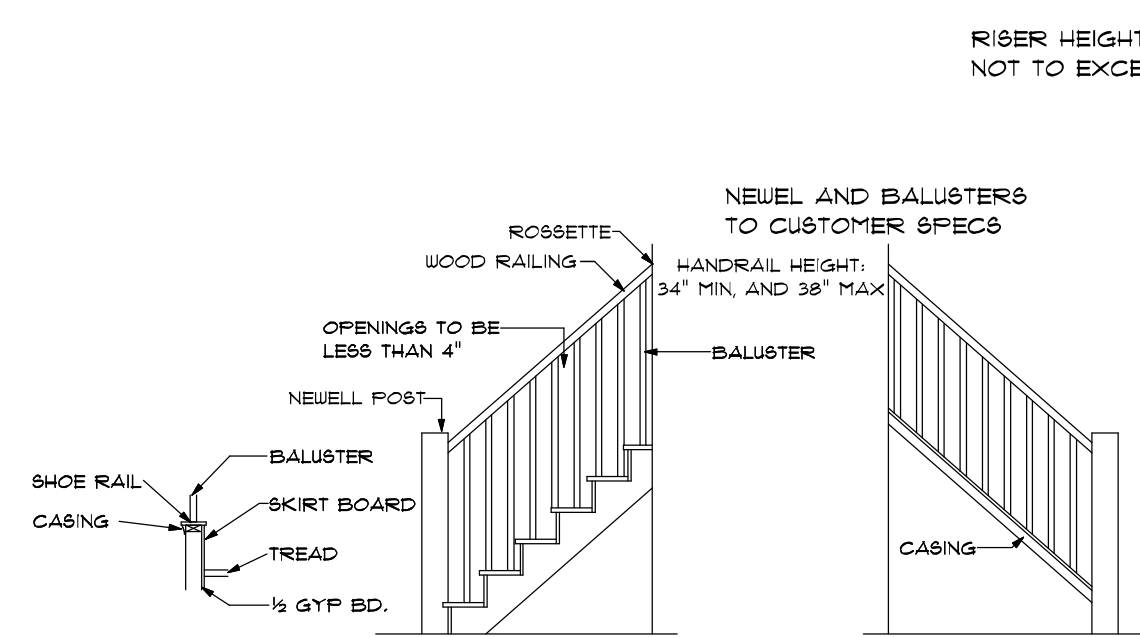
WINDOW WELL DRAIN TILE DETAIL  
SCALE: 1/2" = 1'-0"



WALL @ ATTIC SPACE  
SCALE: 1" = 1'-0"

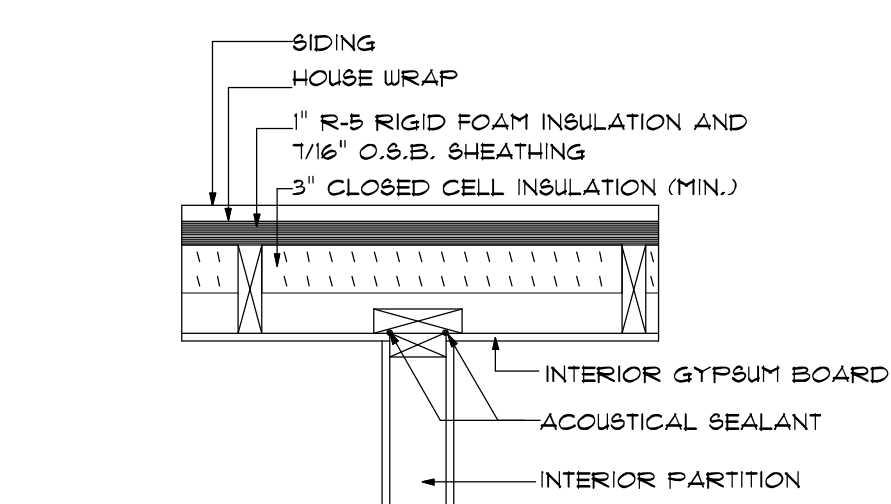


ACTIVE RADON SYSTEM CONNECTED TO DRAIN TILE DETAIL  
SCALE: 1/2" = 1'-0"

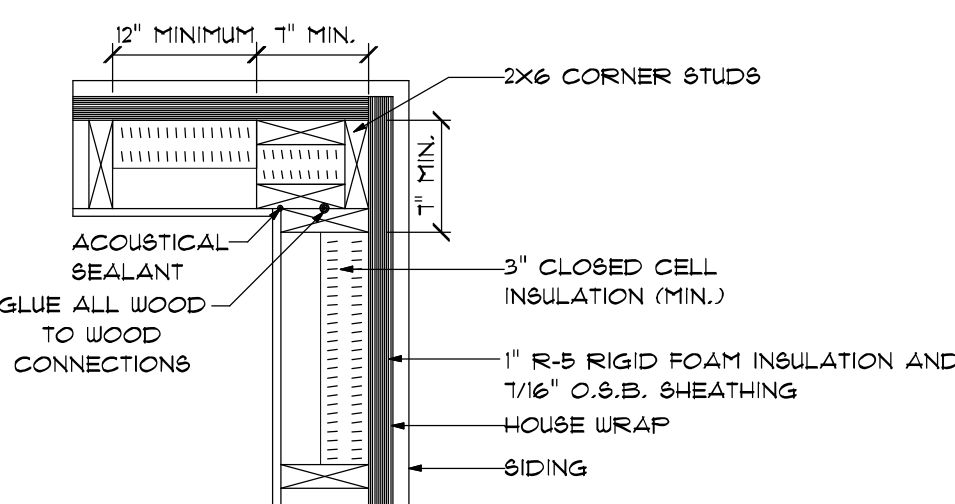


TYPICAL STAIR DETAIL  
SCALE: 1/2" = 1'-0"

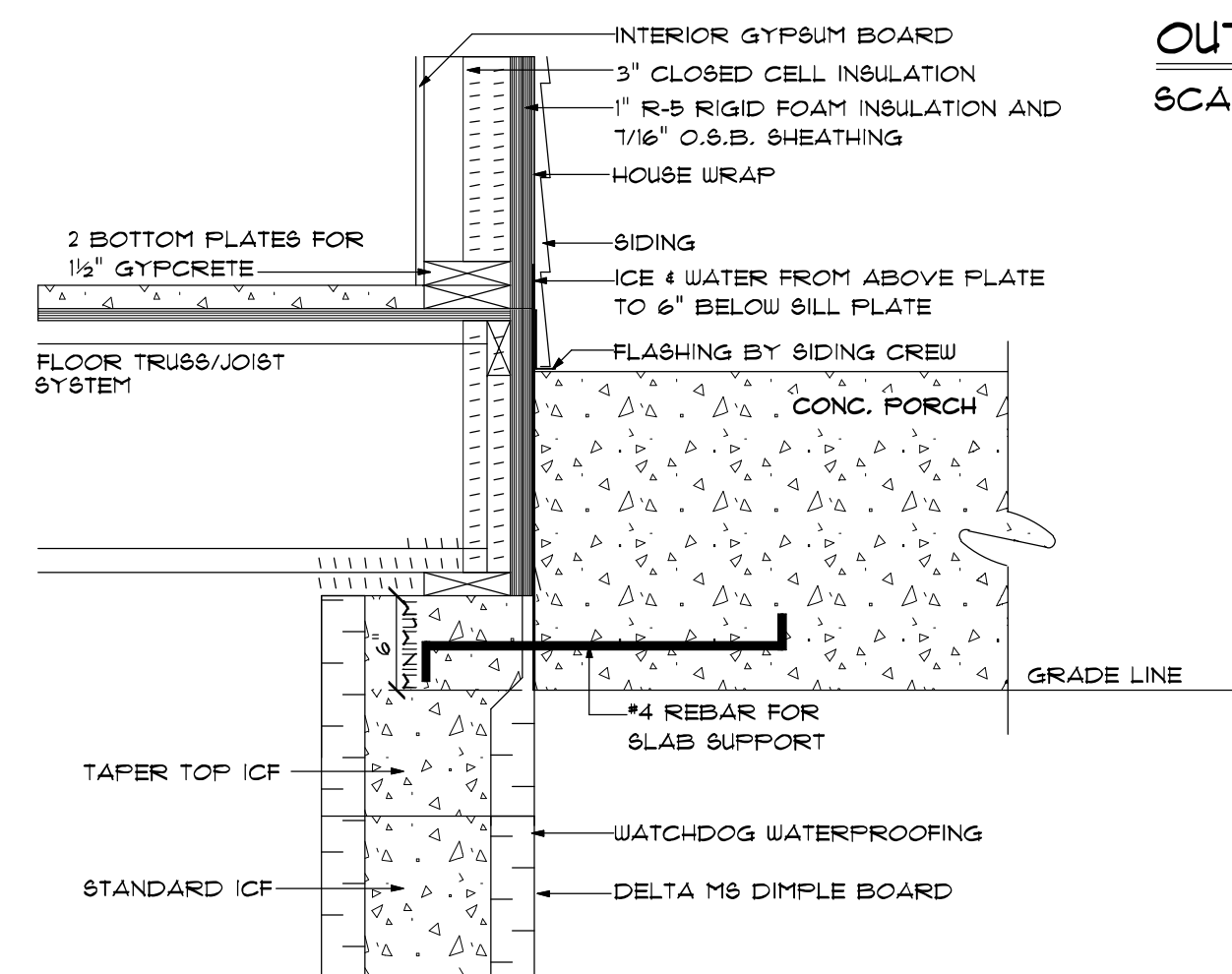
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WALL INTERSECTION DETAIL  
SCALE: 1" = 1'-0"



OUTSIDE CORNER DETAIL  
SCALE: 1" = 1'-0"



RIM @ CONC. PORCH DETAIL  
SCALE: 1" = 1'-0"

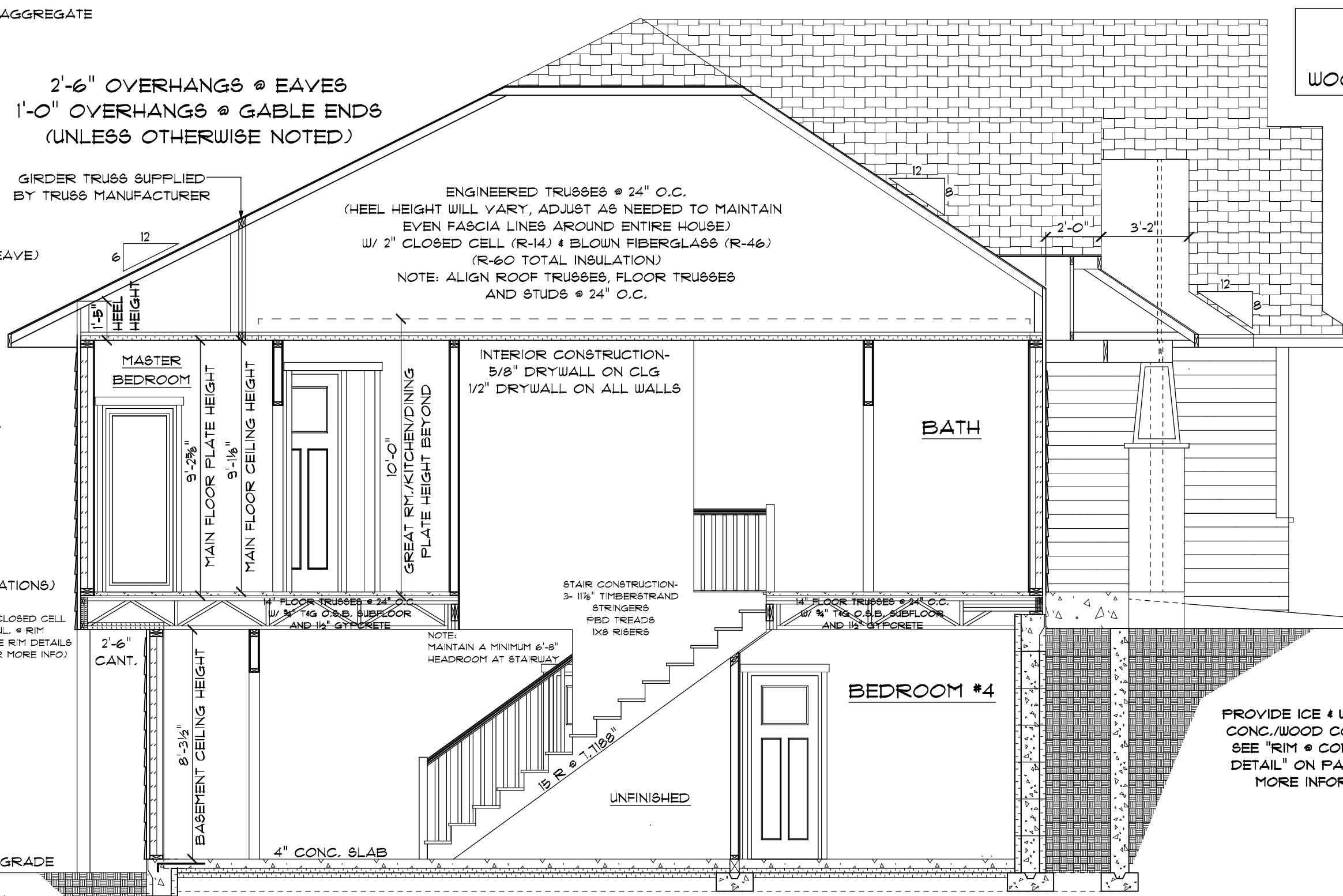
ROOF CONSTRUCTION- ASPHALT ARCHITECTURAL SHINGLES 18" ROOFING FELT 1/2" O.S.B. CONTINUOUS RIDGE VENT AIR CHUTES @ EA. TRUSS SPACE ICE 4 WATER 36" PAST WALL LINE (UP EAVE) PRE-ENGINEERED TRUSSES @ 24" O.C. W/ HURRICANE CLIPS @ EACH TRUSS 2x4 TRUSS BRACING BLOWN FIBERGLASS INSULATION (R-46) W/ 2" CLOSED CELL (R-14) (R-60 TOTAL ATTIC INSULATION)

WALL CONSTRUCTION- LP LAP SIDING HOUSE WRAP 1/16" O.S.B. SHEATHING 1" R-5 RIGID FOAM INSULATION 2x6 STUDS @ 24" O.C. (EXCEPT ON KITCHEN & BATH WALLS) SEE FLR. PLAN FOR 12" O.C. STUD LOCATIONS) 3" CLOSED CELL INSULATION

SILL ASSEMBLY- SIMPSON ANCHOR BOLT @ 48" O.C. 2x6 PRESSURE TREATED SILL PLATES SILL GASKET

FOUNDATION CONSTRUCTION- 1 CRSE TAPER TOP ICF 2 CRSE STANDARD ICF (4'-0" TOTAL WALL HEIGHT) ON 20" X 8" CONC. FTG. INSERT REBAR FOR SLAB SUPPORT @ BASEMENT FLOOR AND/OR CONC. PATIO DRAIN TILE WATERPROOFING

6 MIL POLY VAPOR BARRIER UNDER CONC. SLAB (LAPPED 24" MIN. @ EDGES)



NOTE: 6 MIL POLY VAPOR BARRIER UNDER CONC. SLAB (LAPPED 12" MIN. @ EDGES, TAPED AND SEALED) PROVIDE 4" RIGID TONGUE & GROOVE OR SHIP-LAP INSULATION UNDER CONC. SLAB (2" ON TOP OF FOOTINGS & 2" FLUSH WITH FOOTINGS) \*FILL GAPS W/ EXPANDABLE FOAM AROUND PIPES, ETC.

1 STAIR SECTION

A4 SCALE: 1/4" = 1'-0" (ON 24X36)  
SCALE: 1/8" = 1'-0" (ON 11X17)

2 GARAGE SECTION

A4 SCALE: 1/4" = 1'-0" (ON 24X36)  
SCALE: 1/8" = 1'-0" (ON 11X17)

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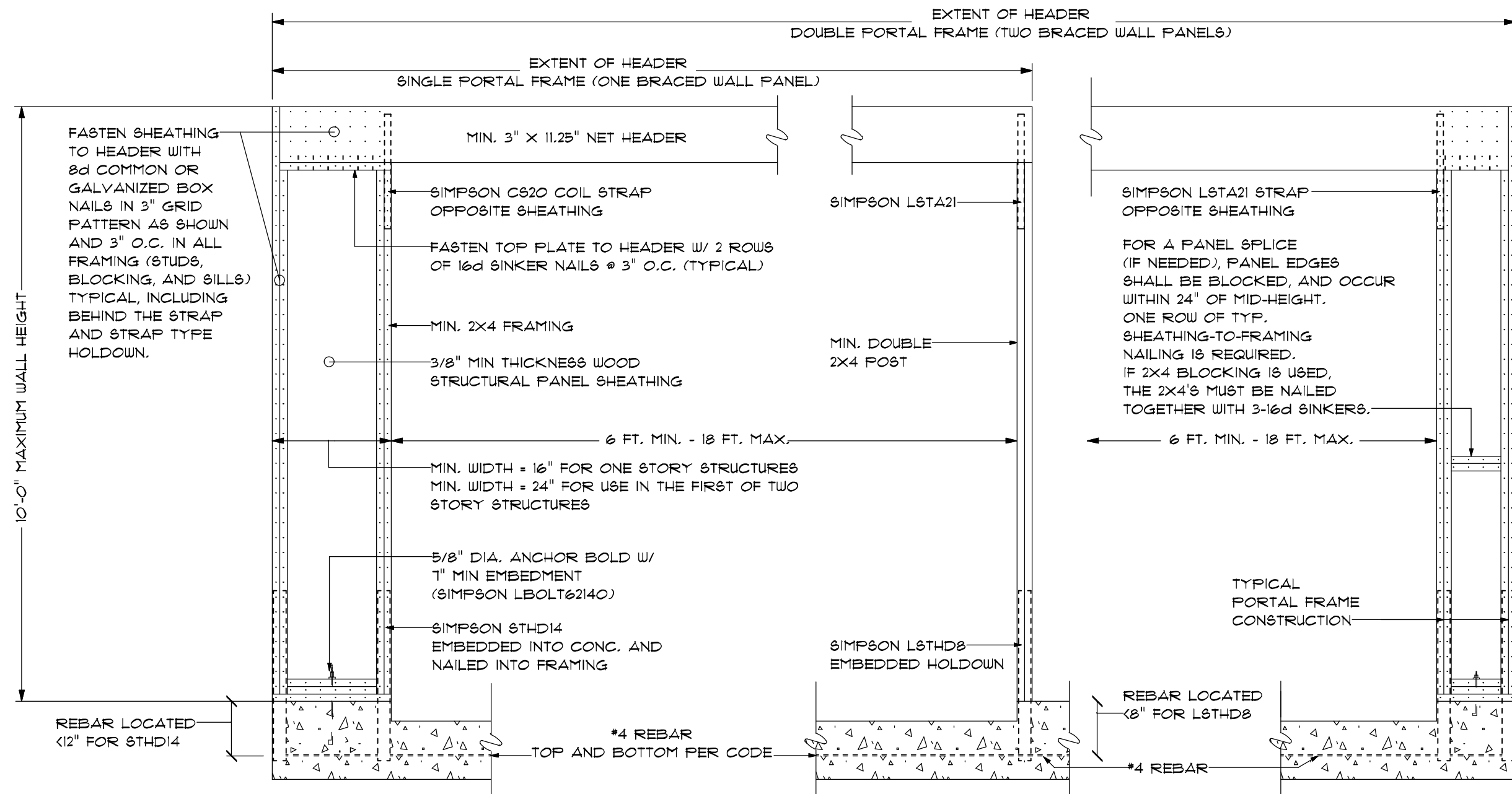
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APPROVED BY:

SHEET

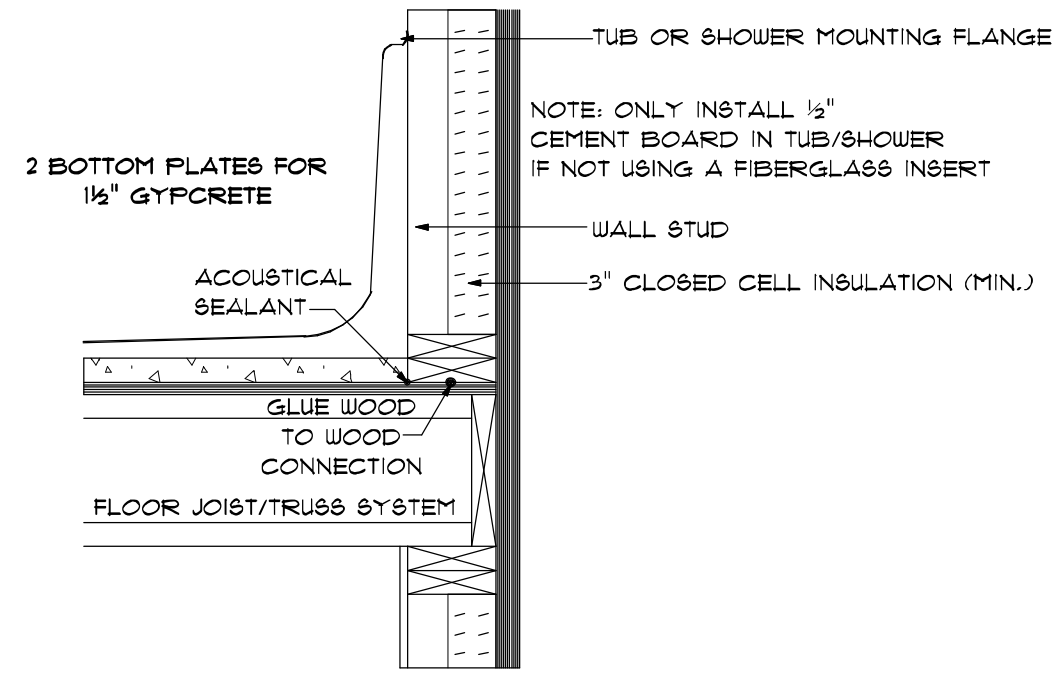
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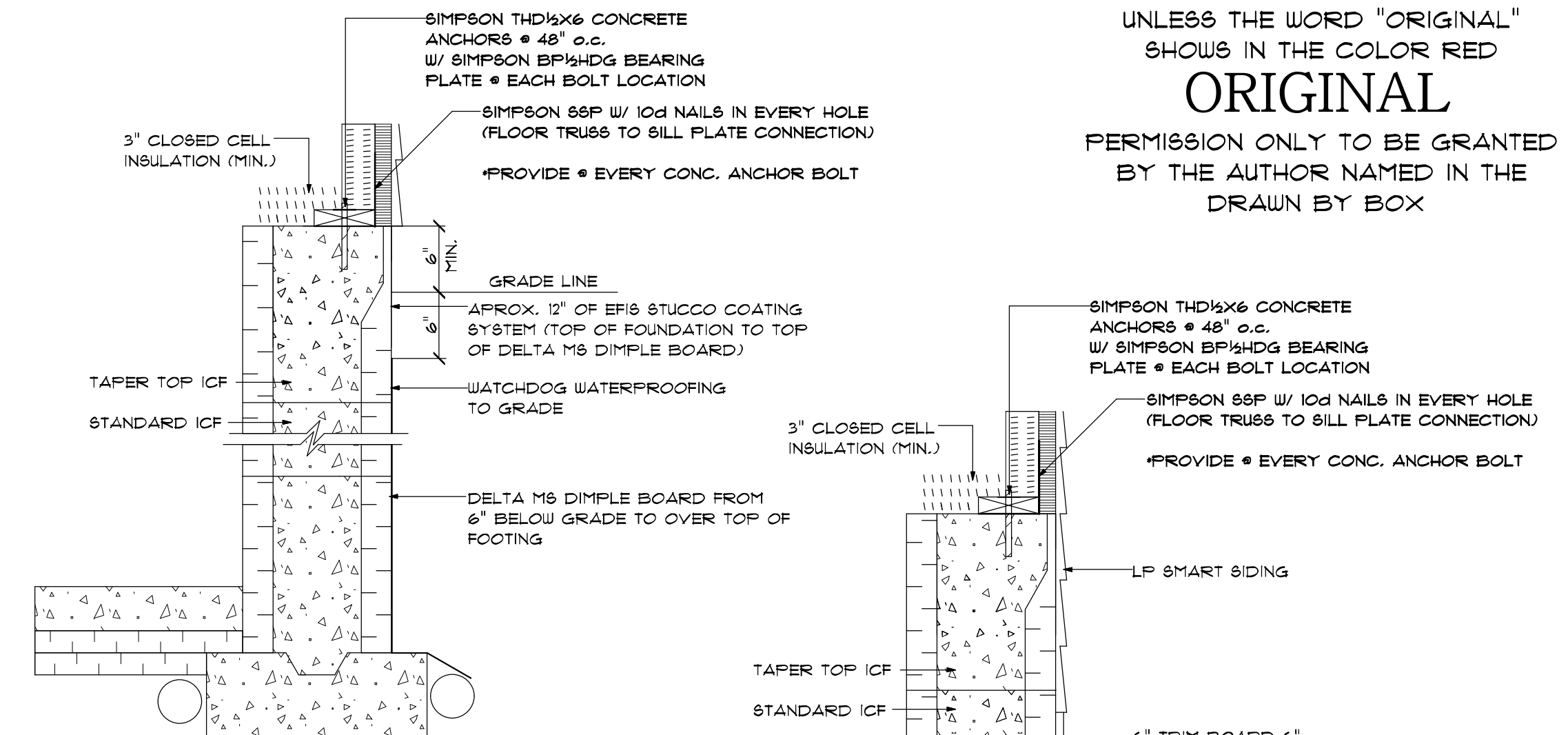


**ALTERNATE BRACED WALL PANEL DETAIL**

SCALE: 1/2" = 1'-0"



**TUB/SHOWER DETAIL**  
SCALE: 1" = 1'-0"

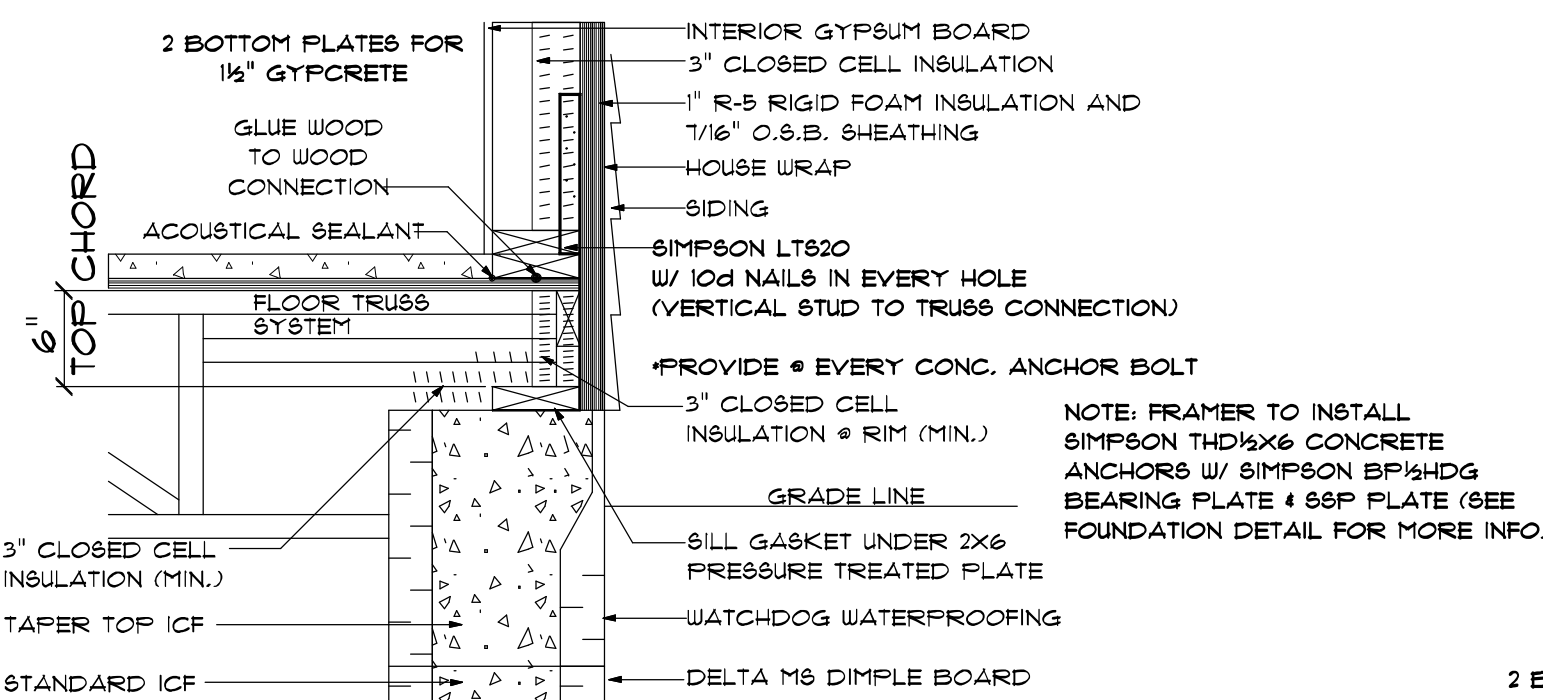


**FOUNDATION DETAIL**  
SCALE: 1" = 1'-0"

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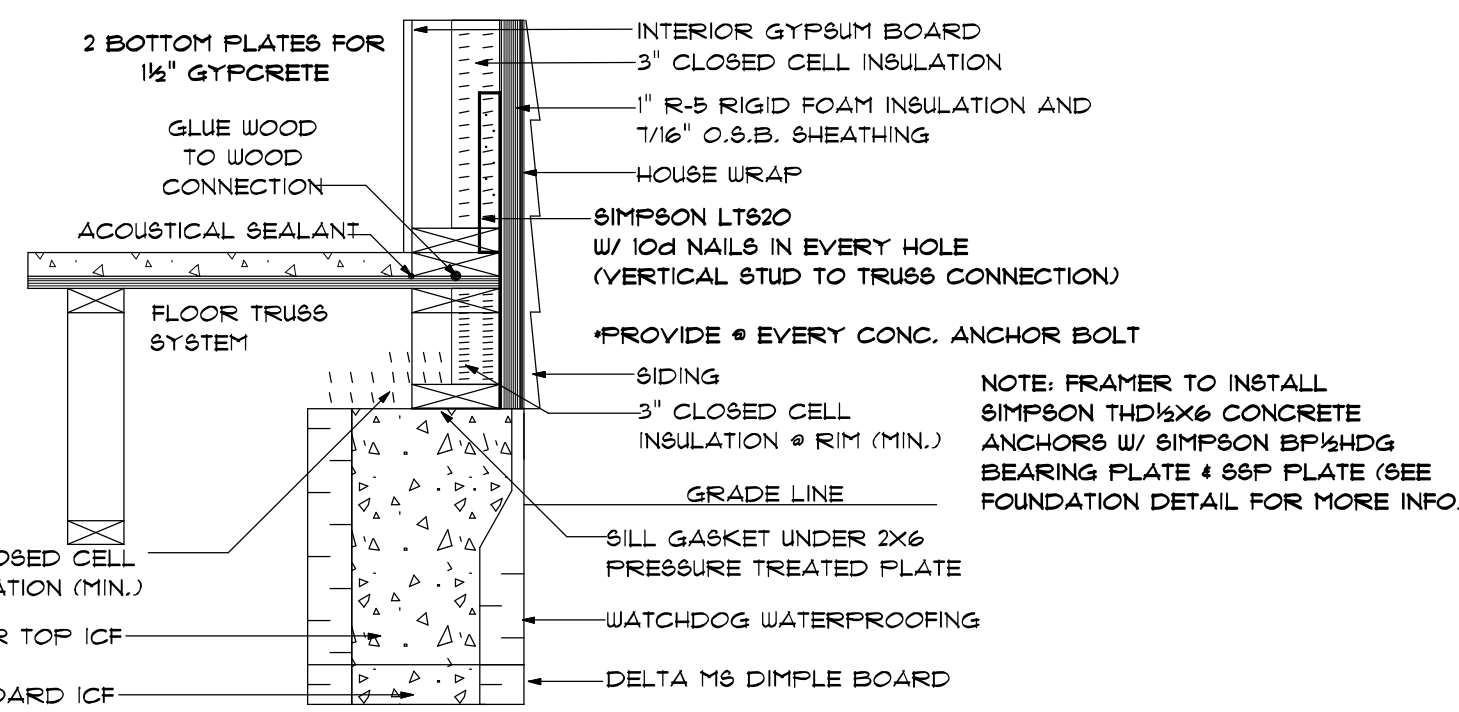
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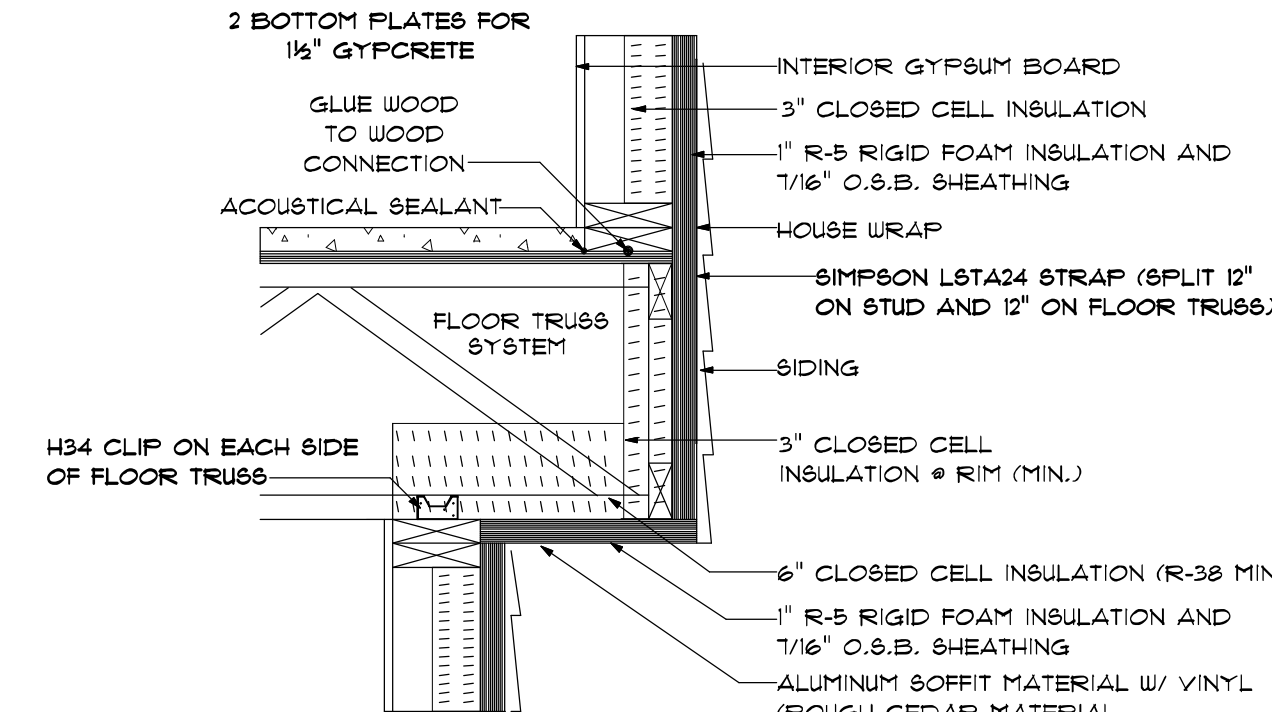
**RIM @ FOUNDATION DETAIL**

SCALE: 1" = 1'-0"



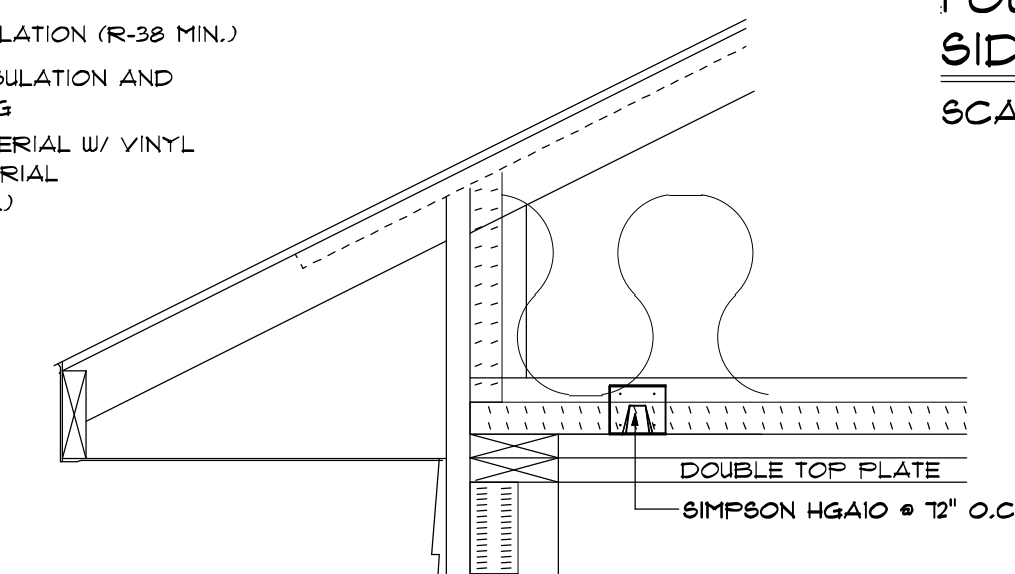
**RIM @ FOUNDATION DETAIL**

SCALE: 1" = 1'-0"



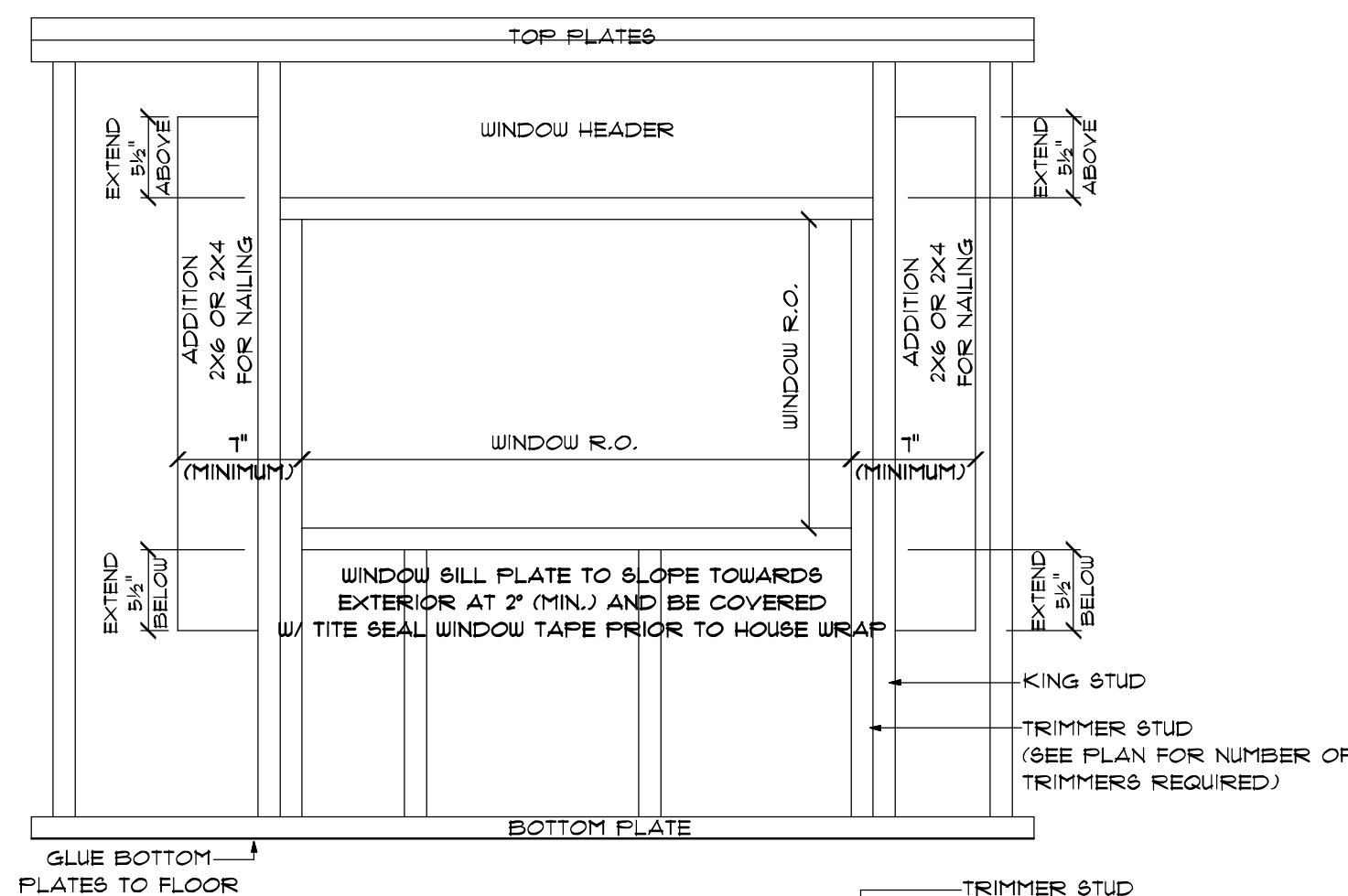
**CANTILEVER DETAIL**

SCALE: 1" = 1'-0"



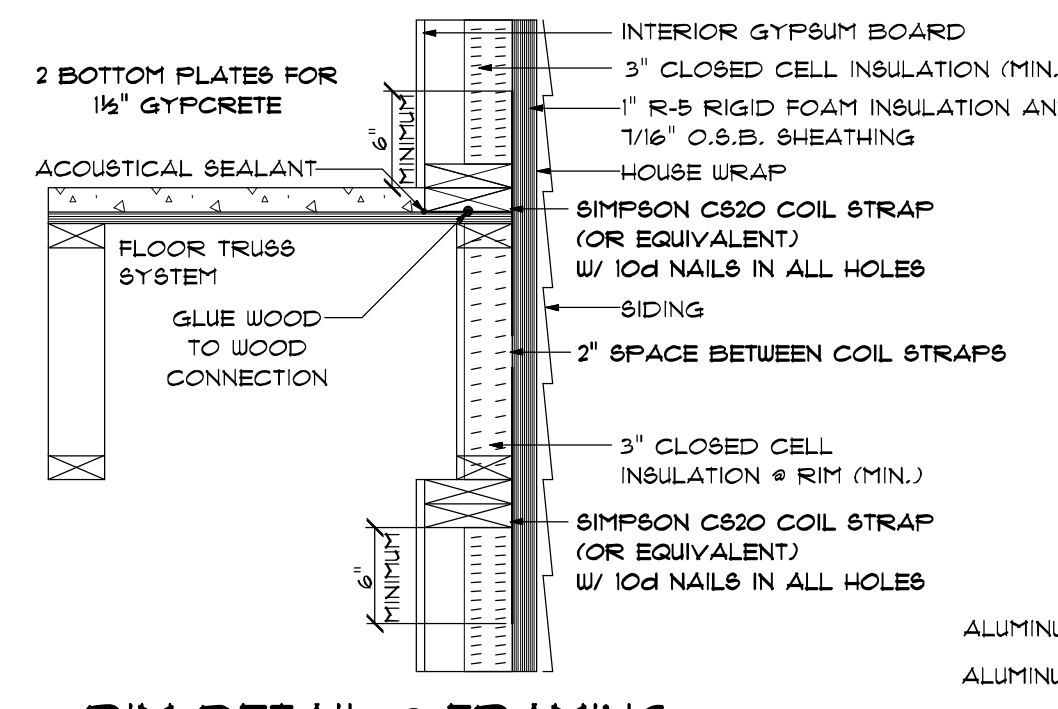
**GABLE END TRUSS DETAIL**

SCALE: 1" = 1'-0"



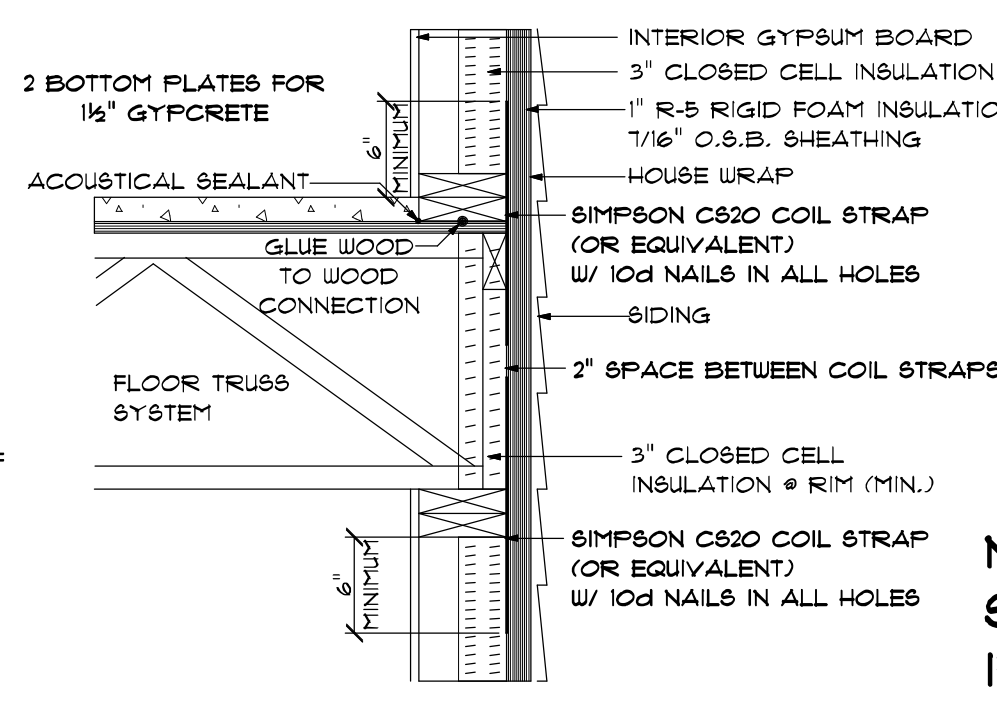
**WINDOW FRAMING DETAIL**

SCALE: 1" = 1'-0"



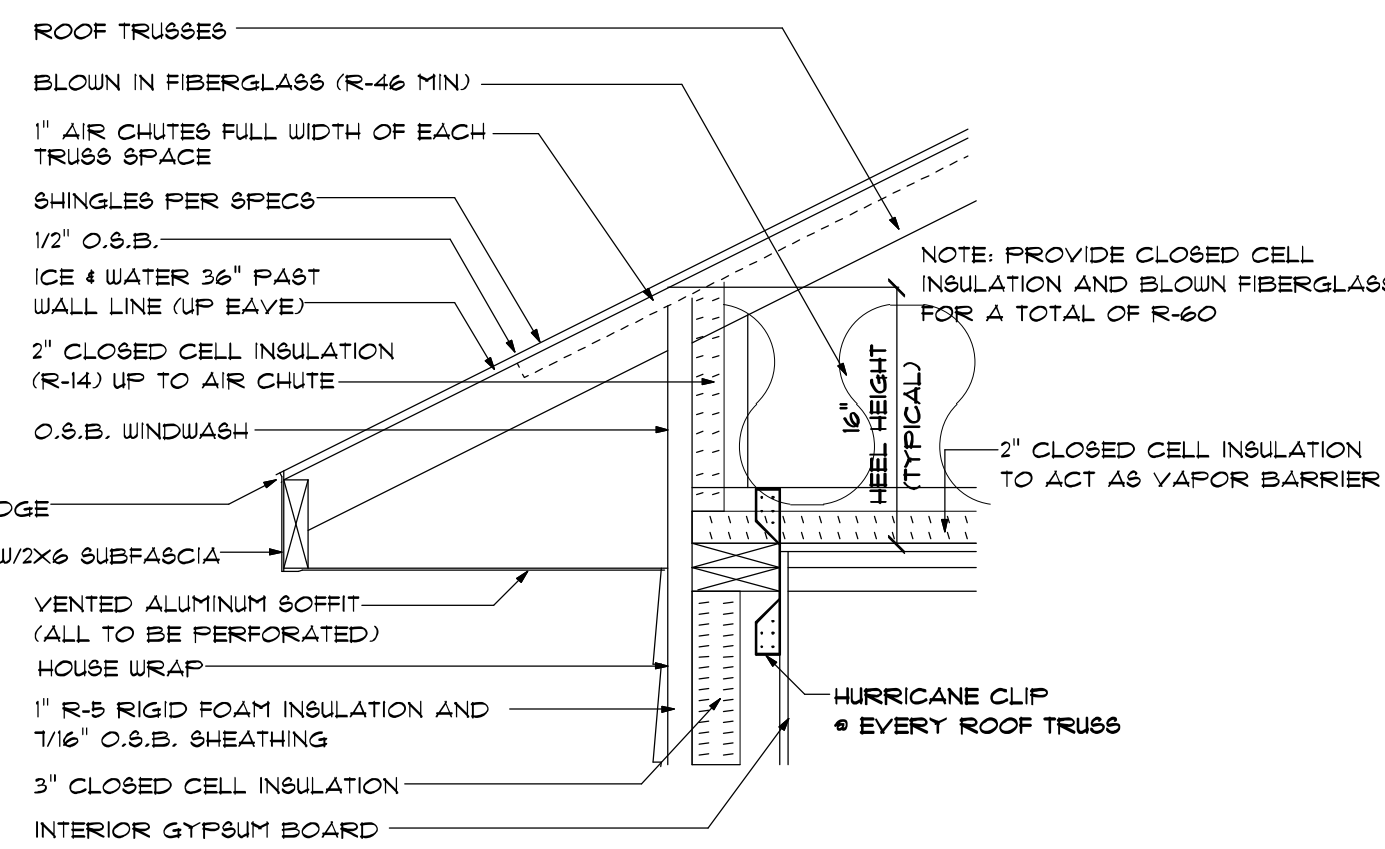
**RIM DETAIL @ FRAMING**

SCALE: 1" = 1'-0"



**RIM DETAIL @ FRAMING**

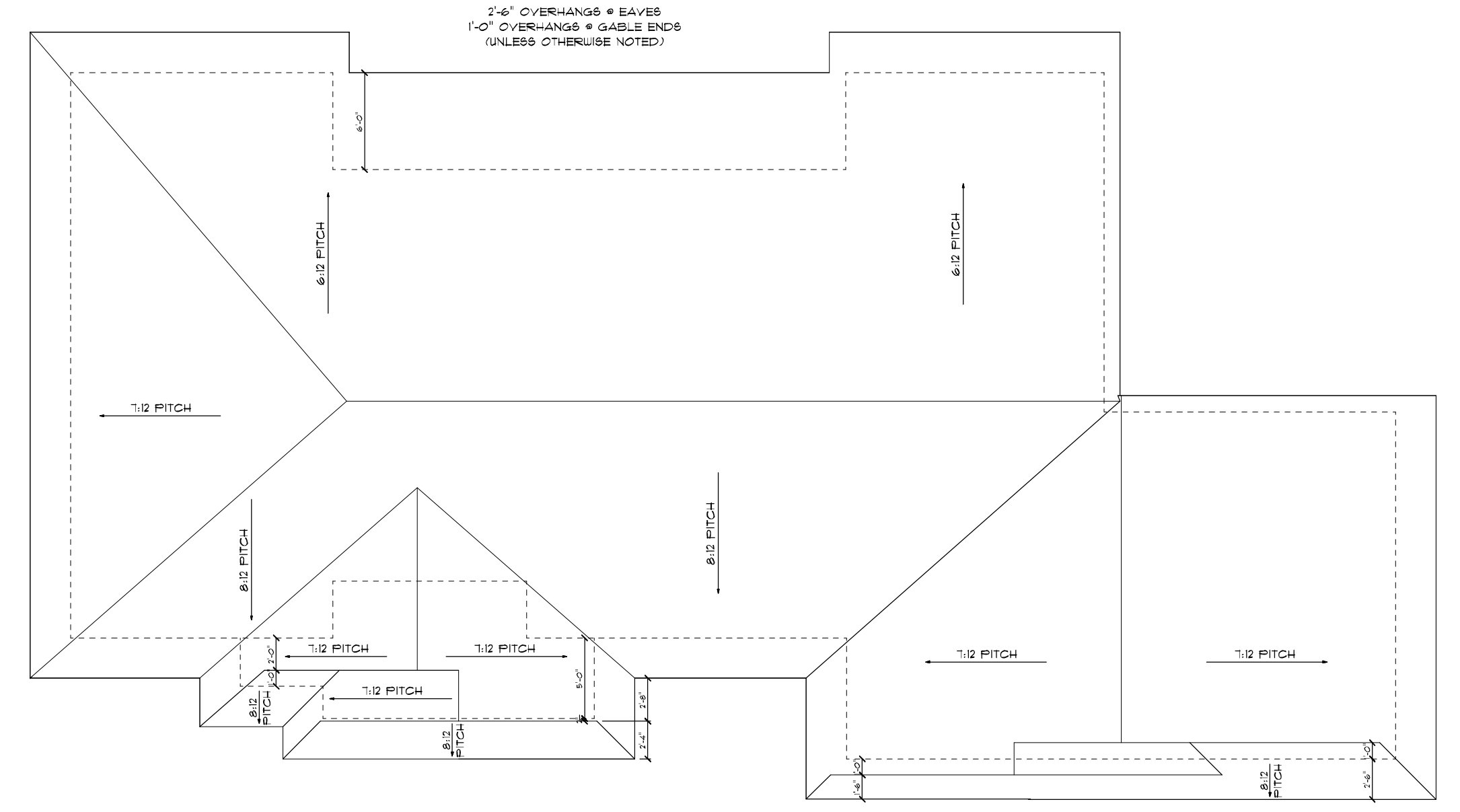
SCALE: 1" = 1'-0"



**TRUSS DETAIL**

SCALE: 1" = 1'-0"

NOTE: IF ANY DISCREPANCIES BETWEEN THE PLANS AND SPECS OCCUR, THE SPECIFICATIONS OVERRIDE THE PLANS. IF ANY SUCH DISCREPANCY IS FOUND BY THE SUB-CONTRACTOR, THE SUB-CONTRACTOR SHALL NOTIFY BUILDER PRIOR TO PROCEEDING. SUB-CONTRACTORS MAY BE LIABLE TO REPAIR AND/OR REPLACE AT SUB-CONTRACTORS EXPENSE ANY ERRORS DUE TO DISCREPANCIES COMPLETED ACCORDING TO THE PLANS THAT ARE IN ERROR OF SPECS.



**ROOF PLAN**

AS SCALE: 1/8" = 1'-0" (ON 24X36)

SCALE: 1/16" = 1'-0" (ON 11X17)

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REVISED AS OF

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A5 OF 5