

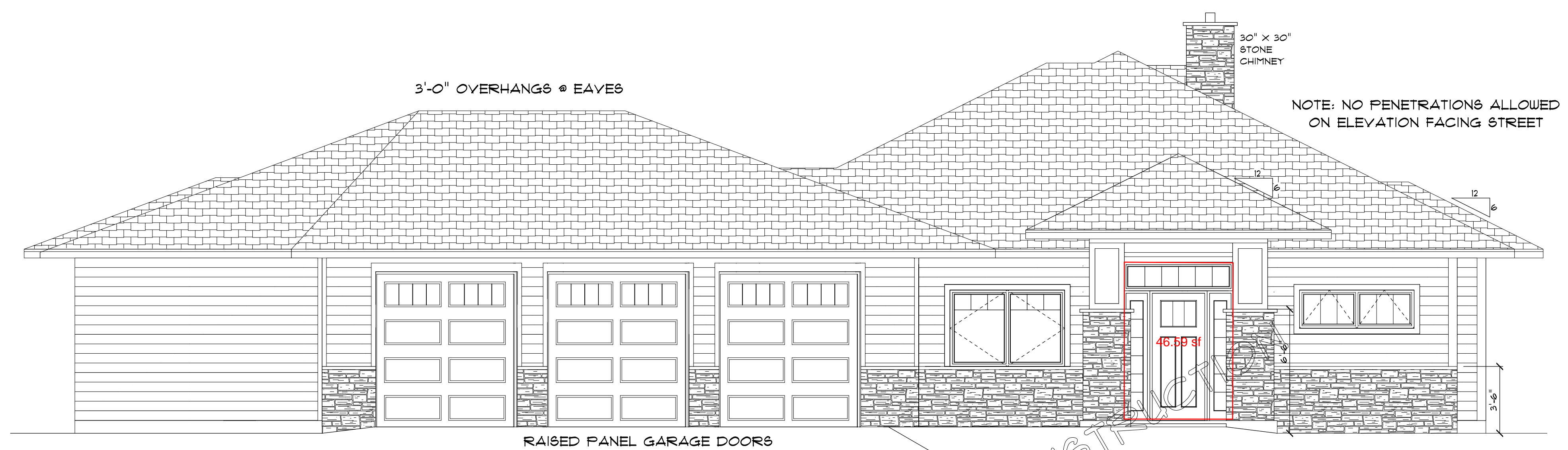
*** CONSTRUCTION PERMIT OFFICES ONLY TO ACCEPT THIS PLAN FOR PERMIT IF "ORIGINAL" IS IN RED, & THE APPROVED BY BOX IS SIGNED BY AUTHOR IN RED. FAILURE TO DO SO, THIS WILL CONSTITUTE AS COPYRIGHT INFRINGEMENT IF PERMIT IS ISSUED ***

IT IS UNLAWFUL FOR THIS PRINT TO BE REPRODUCED UNLESS THE WORD "ORIGINAL" SHOWS IN THE COLOR RED
ORIGINAL
 PERMISSION ONLY TO BE GRANTED BY THE AUTHOR NAMED IN THE DRAWN BY BOX

PROPERTY ADDRESS:
 XXX Fisher Circle

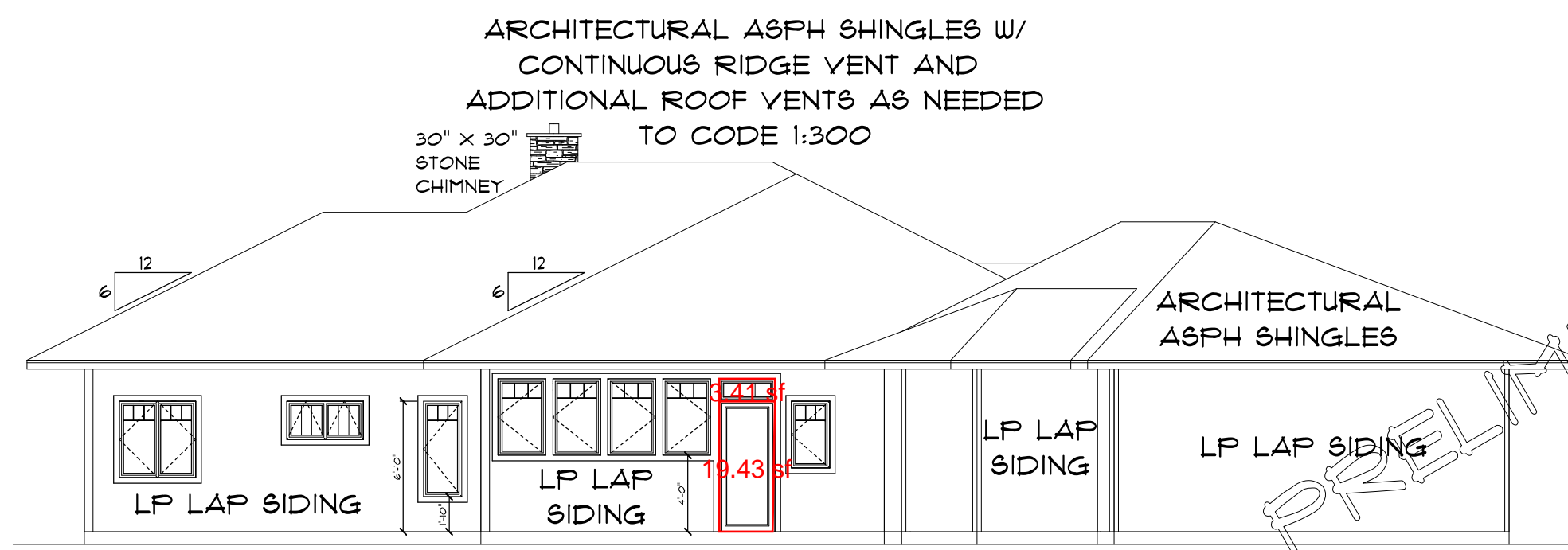
NEW HOME BY: AMARIS HOMES

FOR: PETER HELGESON & SHARON LORAIN

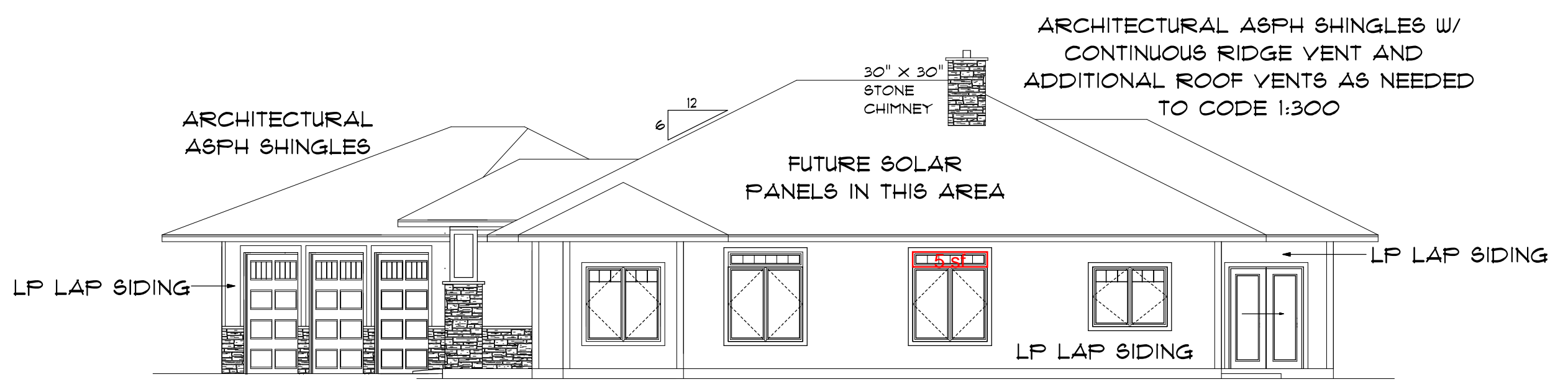


DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REPRESENTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL FINISHED GRADE

1 FRONT ELEVATION
 A1 SCALE: 1/4" = 1'-0" (ON 24X36)
 SCALE: 1/8" = 1'-0" (ON 11X17)
 TOTAL FINISHED SQ. FT. - 1882
 (TOTAL CONDITIONED FLOOR AREA - 1882)
 12:21 AM
 July 12, 2014

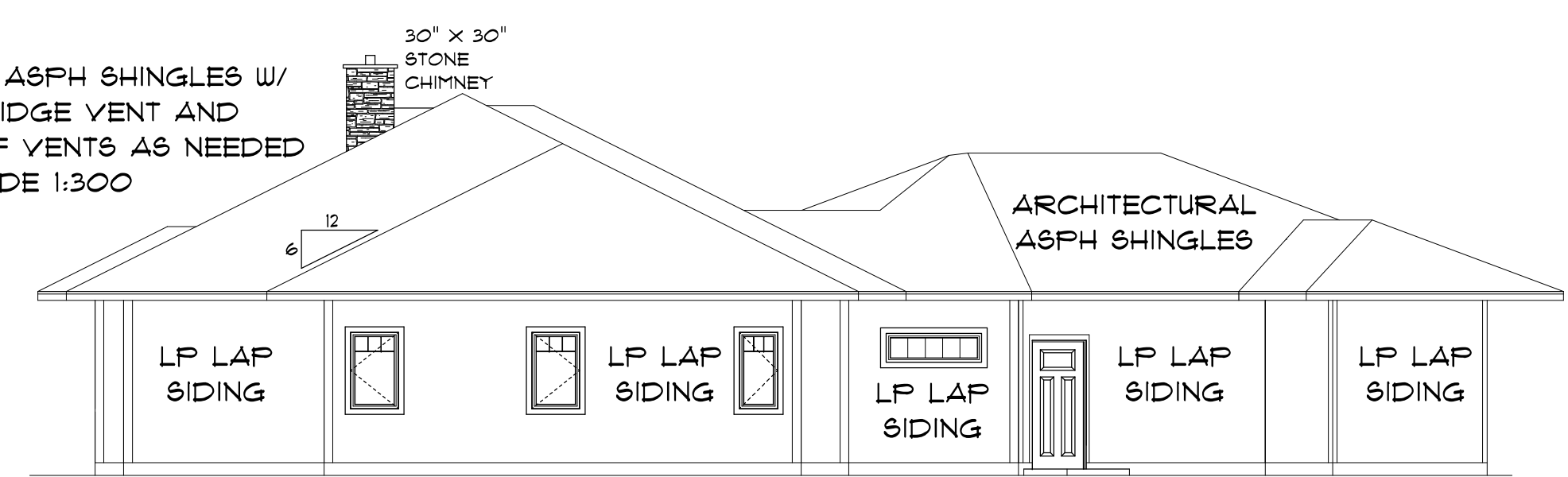


2 LEFT ELEVATION
 A1 SCALE: 1/8" = 1'-0" (ON 24X36)
 SCALE: 1/16" = 1'-0" (ON 11X17)



4 RIGHT ELEVATION
 A1 SCALE: 1/8" = 1'-0" (ON 24X36)
 SCALE: 1/16" = 1'-0" (ON 11X17)

ATTIC VENTILATION:
 NET FREE AREA TO BE EQUAL TO 1/30TH OF THE ATTIC AREA OR 1/500TH OF ATTIC AREA PROVIDED WITH AT LEAST 80% IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



3 REAR ELEVATION
 A1 SCALE: 1/8" = 1'-0" (ON 24X36)
 SCALE: 1/16" = 1'-0" (ON 11X17)

NOTE: IF ANY DISCREPANCIES BETWEEN THE PLANS AND SPECS OCCUR, THE SPECIFICATIONS OVERRIDE THE PLANS. IF ANY SUCH DISCREPANCY IS FOUND BY THE SUB-CONTRACTOR, THE SUB-CONTRACTOR SHALL NOTIFY BUILDER PRIOR TO PROCEEDING. SUB-CONTRACTORS MAY BE LIABLE TO REPAIR AND/OR REPLACE AT SUB-CONTRACTORS EXPENSE ANY ERRORS DUE TO DISCREPANCIES COMPLETED ACCORDING TO THE PLANS THAT ARE IN ERROR OF SPECS.

WAIVER
 EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. GENERAL CONTRACTOR, HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. Distinctive Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

Distinctive Drafting and Design, LLC
 ZIMMERMAN, MN 55398
 OFFICE - 763.244.2552 DIRECT - 320.493.8719 FAX - 763.886.0045
 www.Distinctive-Drafting.com

REVISION:
 PF-001
 7-11-2014
 P - PRELIMINARY
 PF - PRELIM. FINAL
 F - FINAL
 CO - CHANGE ORDER

PROJECT #
 14-142
 REVISED AS OF:

DRAWN BY:
 NICOLE ELLIOTT
 APPROVED BY:

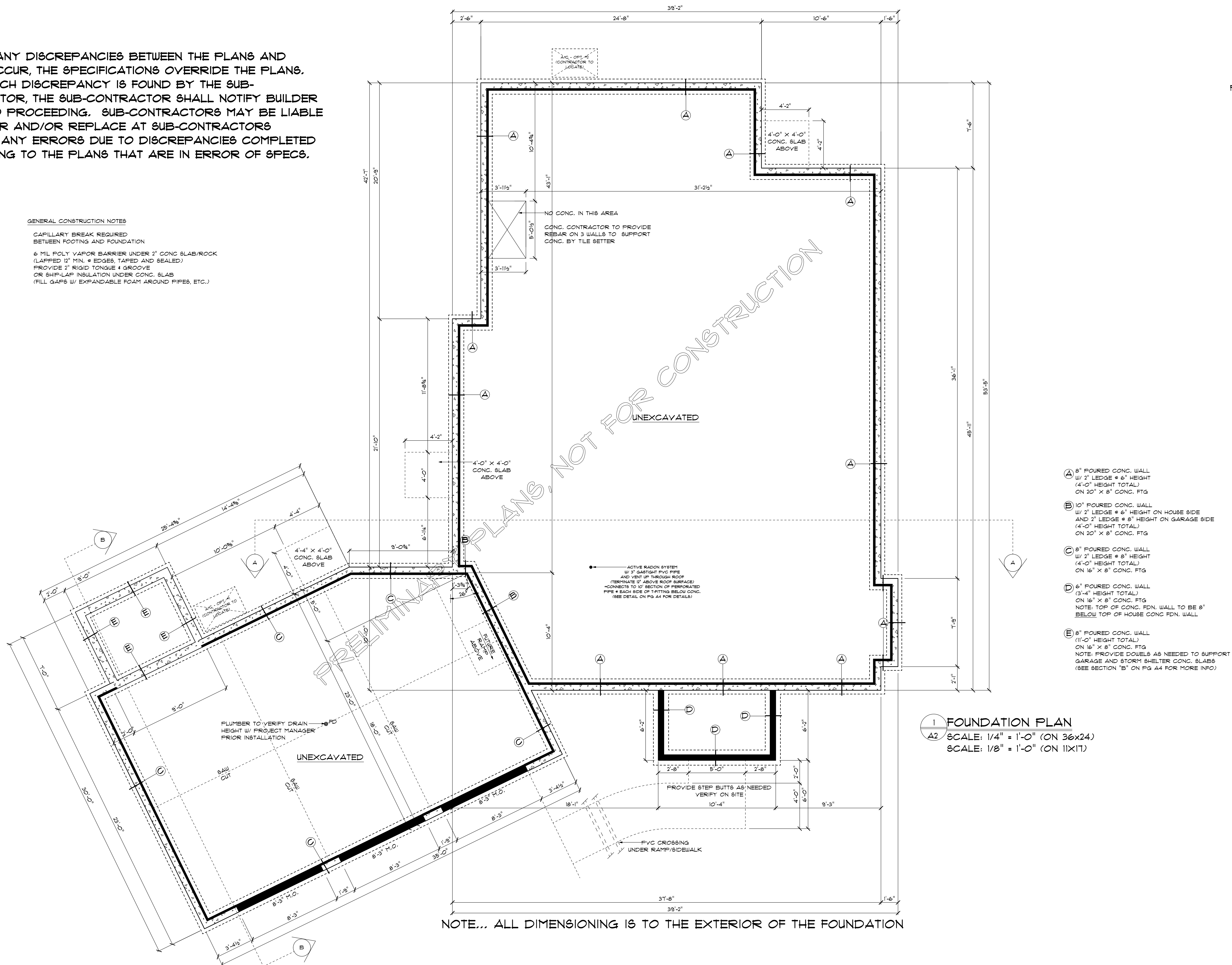
SHEET
 A1 OF 4

NOTE: IF ANY DISCREPANCIES BETWEEN THE PLANS AND SPECS OCCUR, THE SPECIFICATIONS OVERRIDE THE PLANS. IF ANY SUCH DISCREPANCY IS FOUND BY THE SUB-CONTRACTOR, THE SUB-CONTRACTOR SHALL NOTIFY BUILDER PRIOR TO PROCEEDING. SUB-CONTRACTORS MAY BE LIABLE TO REPAIR AND/OR REPLACE AT SUB-CONTRACTORS EXPENSE ANY ERRORS DUE TO DISCREPANCIES COMPLETED ACCORDING TO THE PLANS THAT ARE IN ERROR OF SPECS.

GENERAL CONSTRUCTION NOTES

- CAPILLARY BREAK REQUIRED BETWEEN FOOTING AND FOUNDATION
- 6 MIL POLY VAPOR BARRIER UNDER 2" CONC SLAB/ROCK (LAPPED 12" MIN. @ EDGES, TAPED AND SEALED)
- PROVIDE 2" RIGID TONGUE & GROOVE OR SHIP-LAP INSULATION UNDER CONC. SLAB (FILL GAPS W/ EXPANDABLE FOAM AROUND PIPES, ETC.)

IT IS UNLAWFUL FOR THIS PRINT TO BE REPRODUCED UNLESS THE WORD "ORIGINAL" SHOWS IN THE COLOR RED
ORIGINAL
 PERMISSION ONLY TO BE GRANTED BY THE AUTHOR NAMED IN THE DRAWN BY BOX



1 FOUNDATION PLAN
 A2 SCALE: 1/4" = 1'-0" (ON 36x24)
 SCALE: 1/8" = 1'-0" (ON 11X17)

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE FOUNDATION

WAIVER
 EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. GENERAL CONTRACTOR & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. Distinctive Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

Distinctive Drafting and Design, LLC
 ZIMMERMAN, MN 55398
 OFFICE - 763.244.3552 DIRECT - 320.493.8779 FAX - 763.856.0045
 www.DistinctiveDrafting.com

REVISION: FF-001 T-11-2014 P - PRELIMINARY F - FINAL C - CHANGE ORDER	PROJECT # 14-142 REVISED AS OF:	DRAWN BY: NICOLE ELLIOTT APPROVED BY:	SHEET A2 OF 4
--	---------------------------------------	---	------------------

NOTE: IF ANY DISCREPANCIES BETWEEN THE PLANS AND SPECS OCCUR, THE SPECIFICATIONS OVERRIDE THE PLANS. IF ANY SUCH DISCREPANCY IS FOUND BY THE SUB-CONTRACTOR, THE SUB-CONTRACTOR SHALL NOTIFY BUILDER PRIOR TO PROCEEDING. SUB-CONTRACTORS MAY BE LIABLE TO REPAIR AND/OR REPLACE AT SUB-CONTRACTORS EXPENSE ANY ERRORS DUE TO DISCREPANCIES COMPLETED ACCORDING TO THE PLANS THAT ARE IN ERROR OF SPECS.

IT IS UNLAWFUL FOR THIS PRINT TO BE REPRODUCED UNLESS THE WORD "ORIGINAL" SHOWS IN THE COLOR RED PERMISSION ONLY TO BE GRANTED BY THE AUTHOR NAMED IN THE DRAWN BY BOX

WAIVER
EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. GENERAL CONTRACTOR & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. Distinctive Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

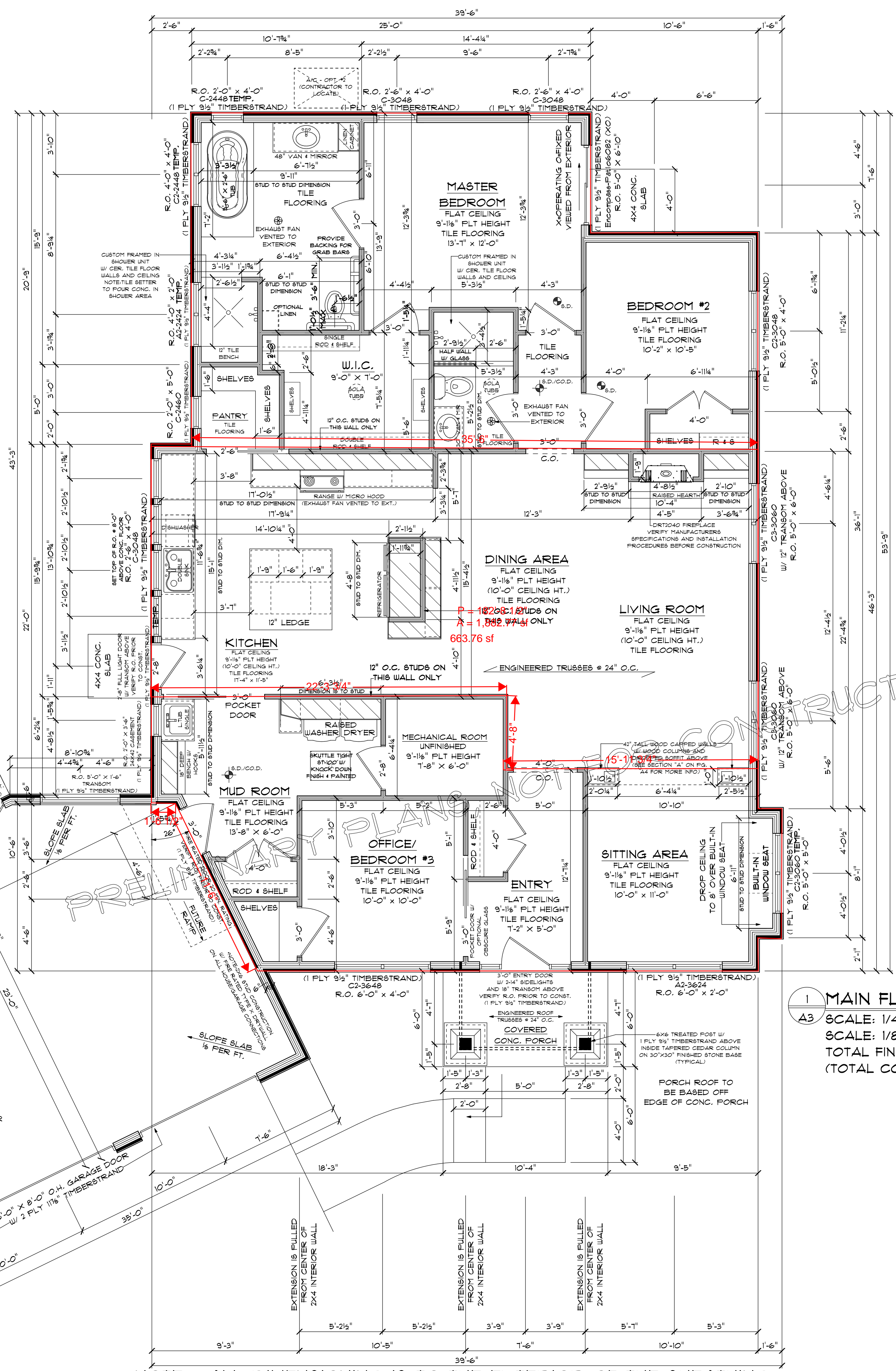
Distinctive Drafting and Design, LLC
ZIMMERMAN, MN 55598
OFFICE - 763.244.3552 DIRECT - 320.493.8779 FAX - 763.856.0045
WWW.Distinctive-Drafting.com

REVISION:
R1-001
1-11-2014
P - PRELIMINARY
PF - FINAL
F - FINAL
CO - CHANGE ORDER

PROJECT #
14-142
REVISED AS OF:

DRAWN BY:
NICOLE ELLIOTT
APPROVED BY:

SHEET
A3 OF 4



GENERAL CONSTRUCTION NOTES
SOLID SHADED AREAS REP. SOLID BEARING DOWN TO CONC.
INTERIOR BEARING WALLS HAVE BLOCKING & MIDPOINT
TOP OF WINDOW R.O. TO BE SET AT 6'-10" ABOVE CONC. FLOOR, UNLESS NOTED OTHERWISE.
ALL INTERIOR WALLS TO HAVE .60 TRT BOTTOM PLATE

NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED ON THIS PRINT ARE: PELLA ENCOMPASS

ALL BEAMS & HEADERS ON THIS PLAN ARE WEYERHAEUSER TRUS JOIST ENGINEERED WOOD PRODUCTS IF DIFFERENT BRAND IS USED, VERIFY SIZE & DEPTH PRIOR TO CONST.

BEAM/HEADER SUPPLIER TO VERIFY THAT ALL BEAMS AND HEADERS WILL SUPPORT ROOF AND FLOOR TRUSS LOADS PRIOR TO CONSTRUCTION

1 MAIN FLOOR PLAN
A3 SCALE: 1/4" = 1'-0" (ON 36x24)
SCALE: 1/8" = 1'-0" (ON 11x17)
TOTAL FINISHED SQ. FT. - 1882
(TOTAL CONDITIONED FLOOR AREA - 1882)

NOTE: FURR OUT EXT. OF CONC. STORM SHELTER W/ 2x4 STUDS TURNED ON EDGE. FINISH EXT. W/ LP SIDING (SEE DETAIL "B" ON PG. A4 FOR MORE INFO)

PLUMBER TO VERIFY DRAIN HEIGHT W/ PROJECT MANAGER PRIOR TO INSTALLATION

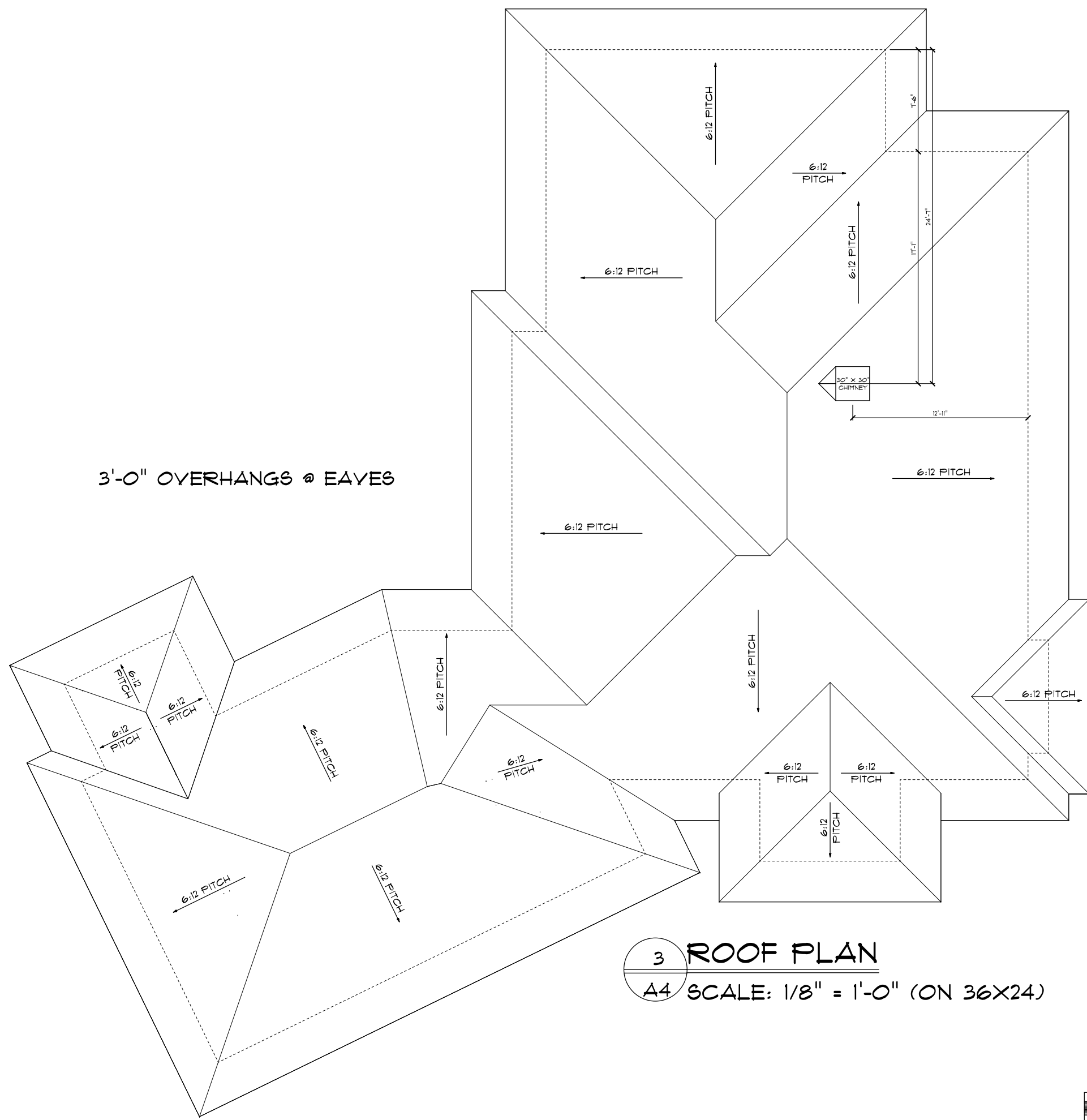
GARAGE
TYPICAL GARAGE FLOOR: 3 1/2" CONCRETE SLAB W/ 6x6 10/10 WELDED WIRE MESH COMPACTED GRANULAR FILL SLOPE CONC. TOWARDS CENTER FLOOR DRAIN

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE SHEATHING

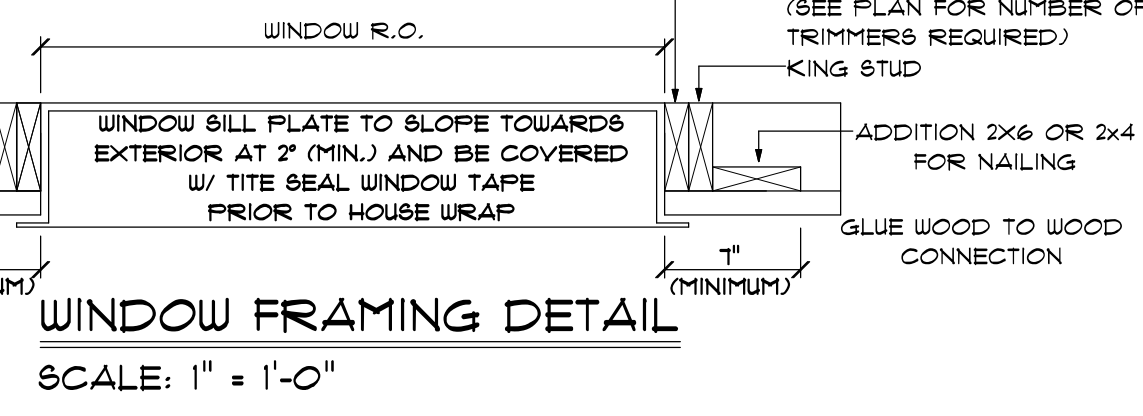
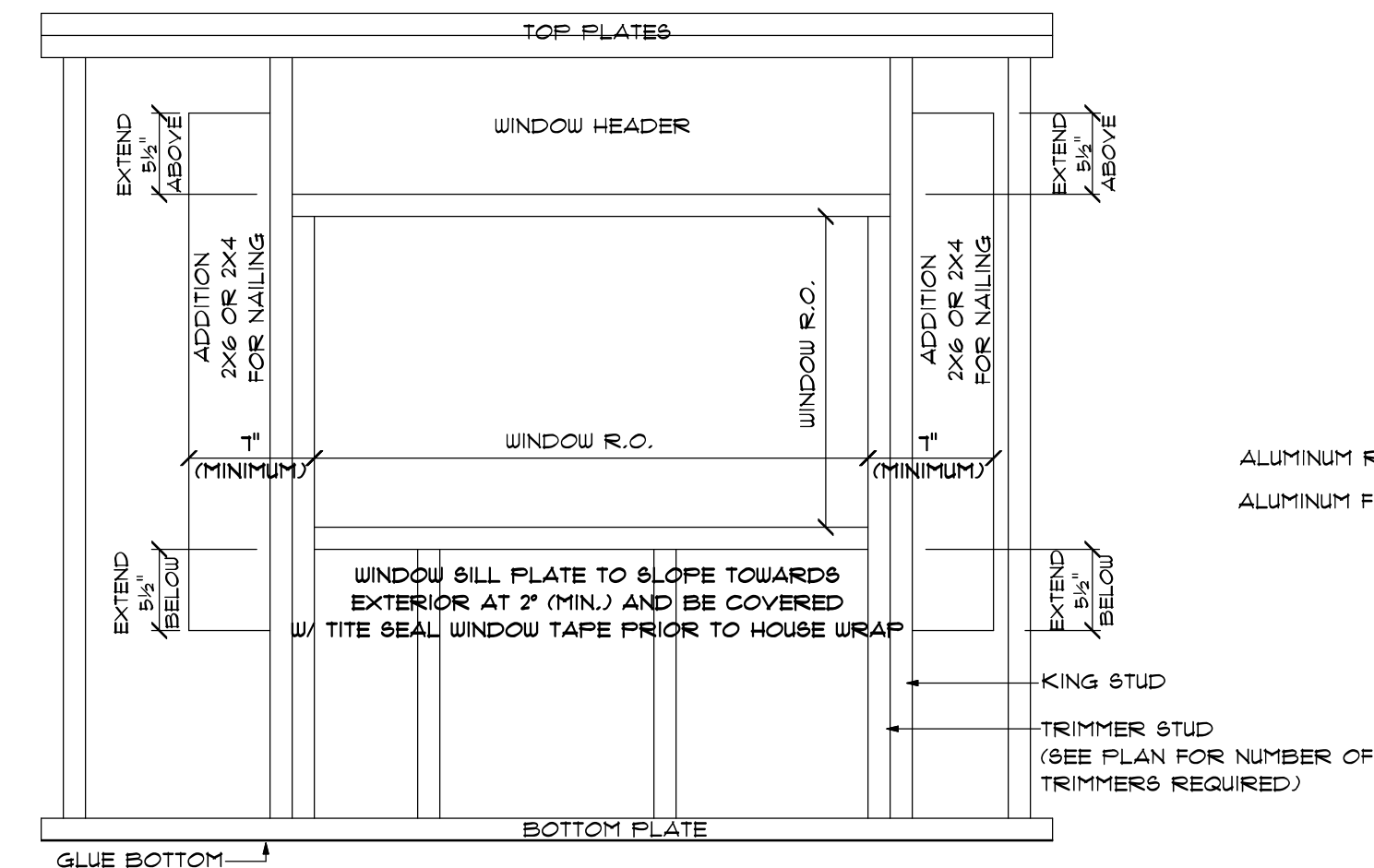
*** CONSTRUCTION PERMIT OFFICES ONLY TO ACCEPT THIS PLAN FOR PERMIT IF "ORIGINAL" IS IN RED, & THE APPROVED BY BOX IS SIGNED BY AUTHOR IN RED. FAILURE TO DO SO, THIS WILL CONSTITUTE AS COPYRIGHT INFRINGEMENT IF PERMIT IS ISSUED ***

WAIVER

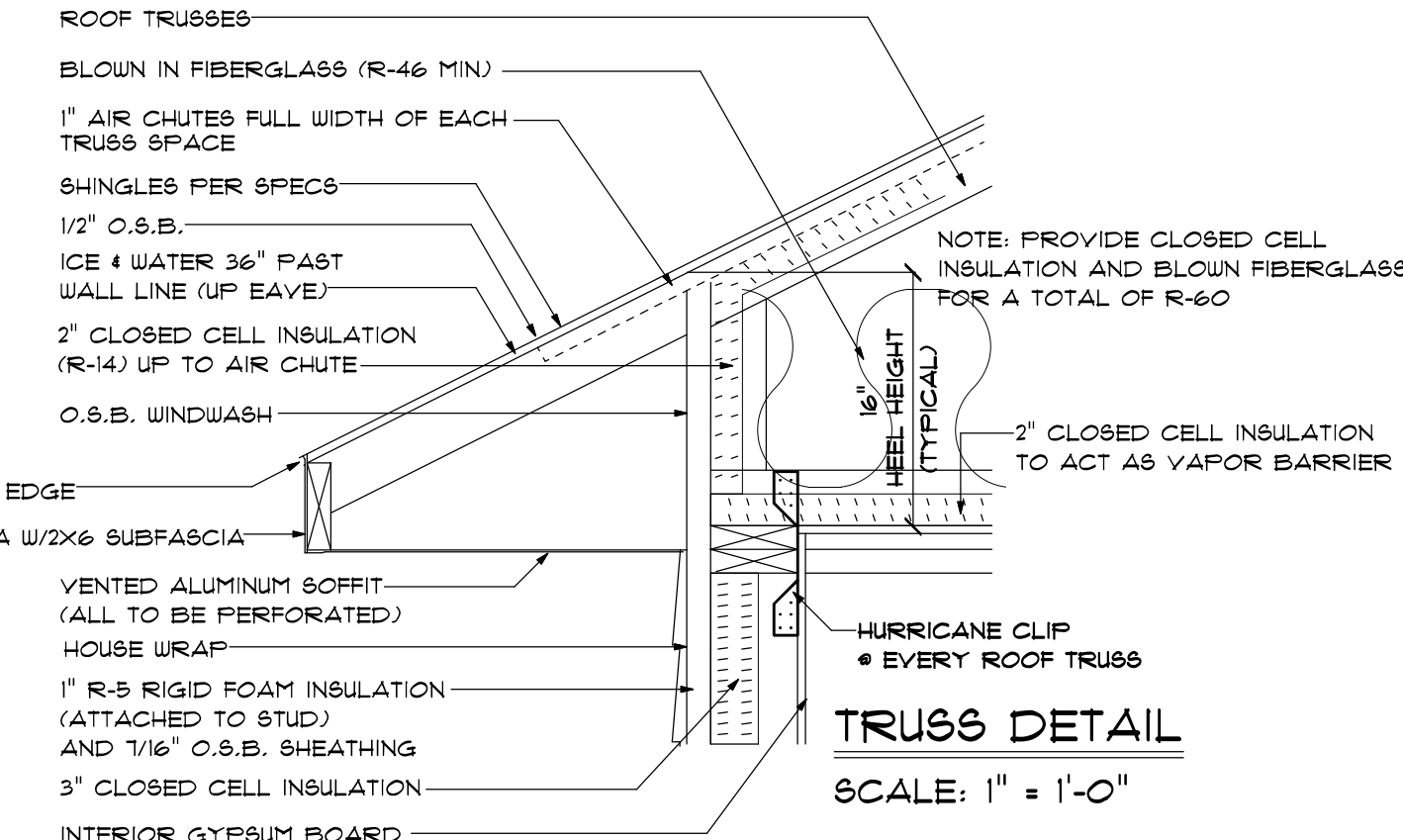
IT IS UNLAWFUL FOR THIS PRINT TO BE REPRODUCED UNLESS THE WORD "ORIGINAL" SHOWS IN THE COLOR RED PERMISSION ONLY TO BE GRANTED BY THE AUTHOR NAMED IN THE DRAWING BY BOX



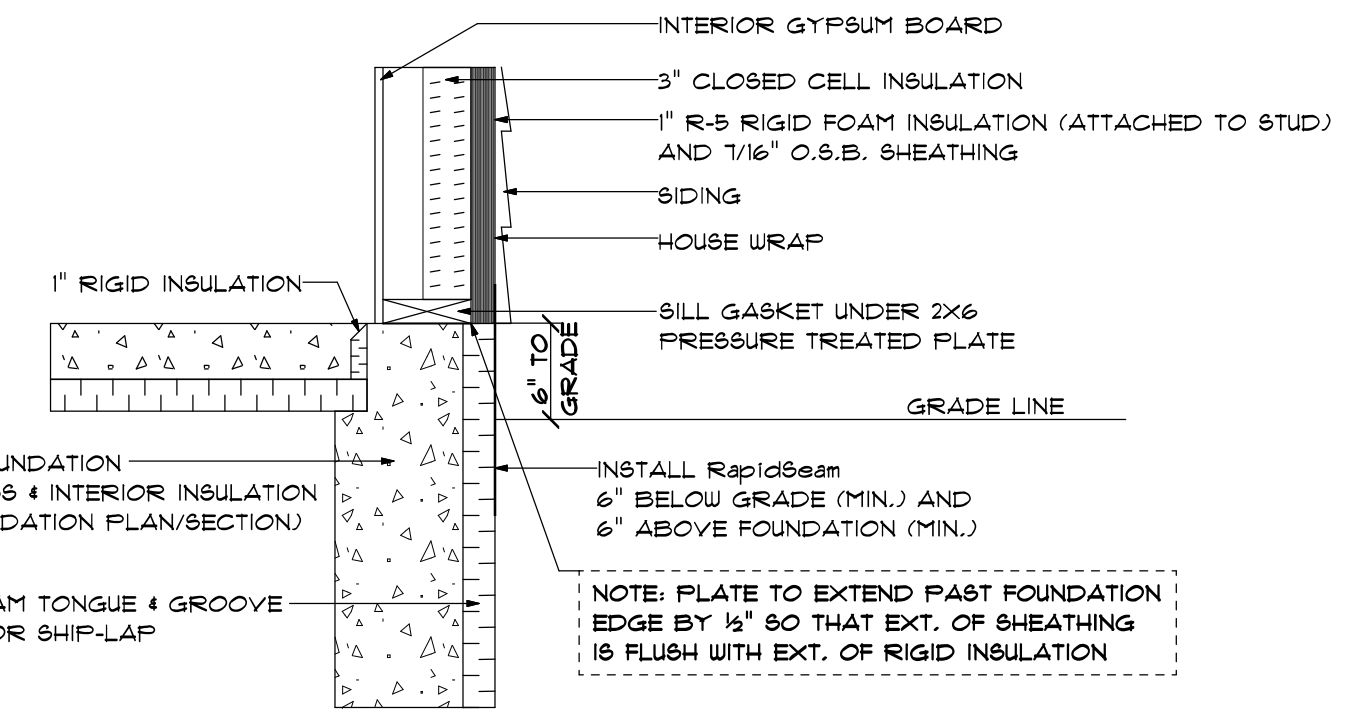
3 ROOF PLAN
A4 SCALE: 1/8" = 1'-0" (ON 36X24)



WINDOW FRAMING DETAIL
SCALE: 1" = 1'-0"

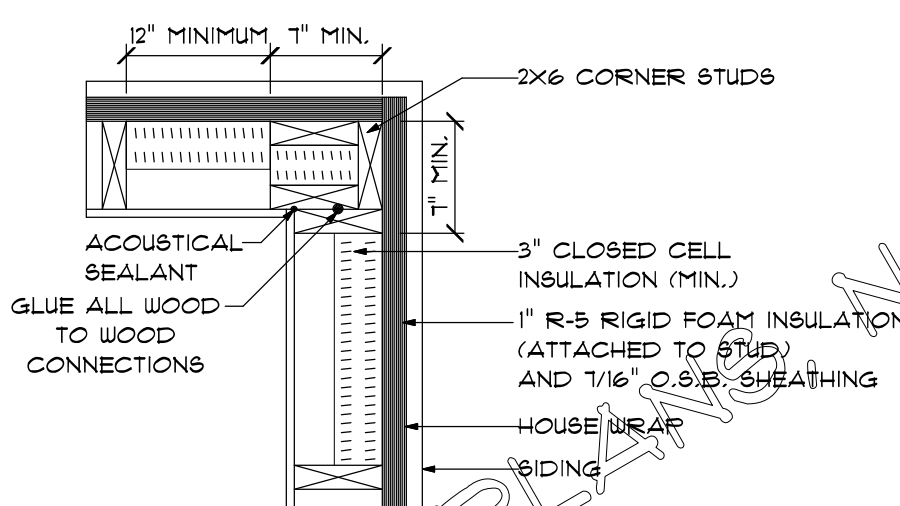


TRUSS DETAIL
SCALE: 1" = 1'-0"

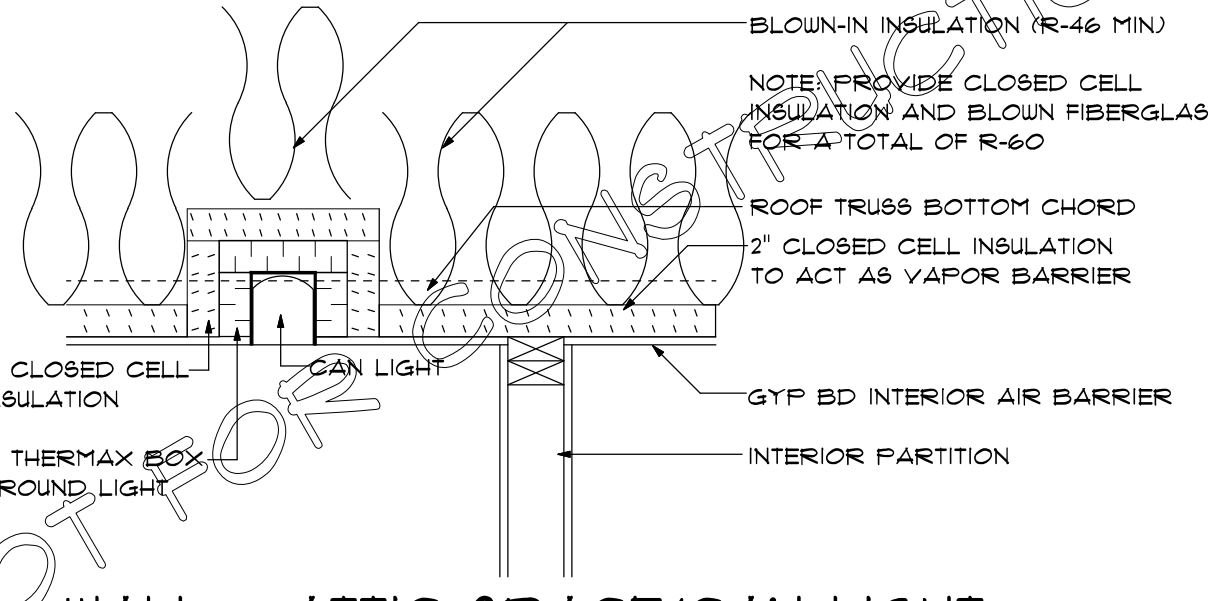


SLAB-ON-GRADE FOUNDATION DETAIL
SCALE: 1" = 1'-0"

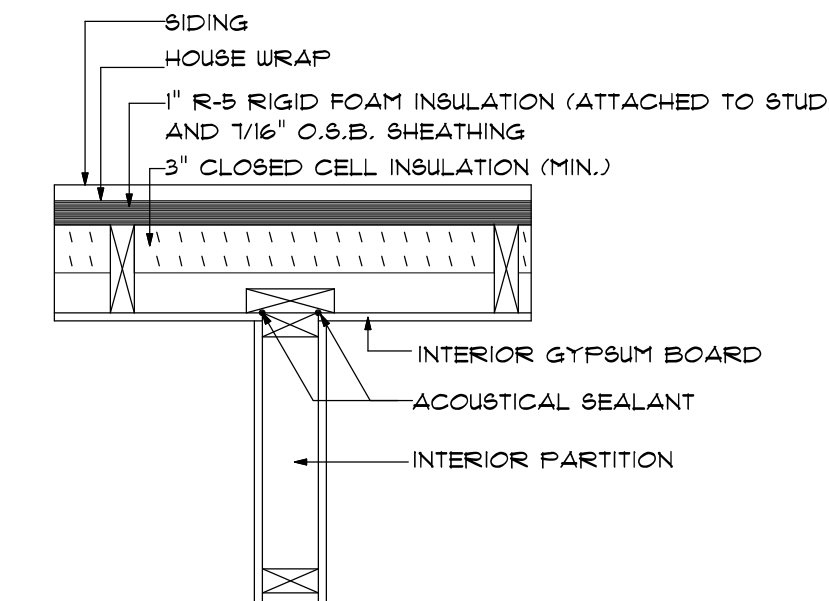
NOTE: IF ANY DISCREPANCIES BETWEEN THE PLANS AND SPECS OCCUR, THE SPECIFICATIONS OVERRIDE THE PLANS. IF ANY SUCH DISCREPANCY IS FOUND BY THE SUB-CONTRACTOR, THE SUB-CONTRACTOR SHALL NOTIFY BUILDER PRIOR TO PROCEEDING. SUB-CONTRACTORS MAY BE LIABLE TO REPAIR AND/OR REPLACE AT SUB-CONTRACTORS EXPENSE ANY ERRORS DUE TO DISCREPANCIES COMPLETED ACCORDING TO THE PLANS THAT ARE IN ERROR OF SPECS.



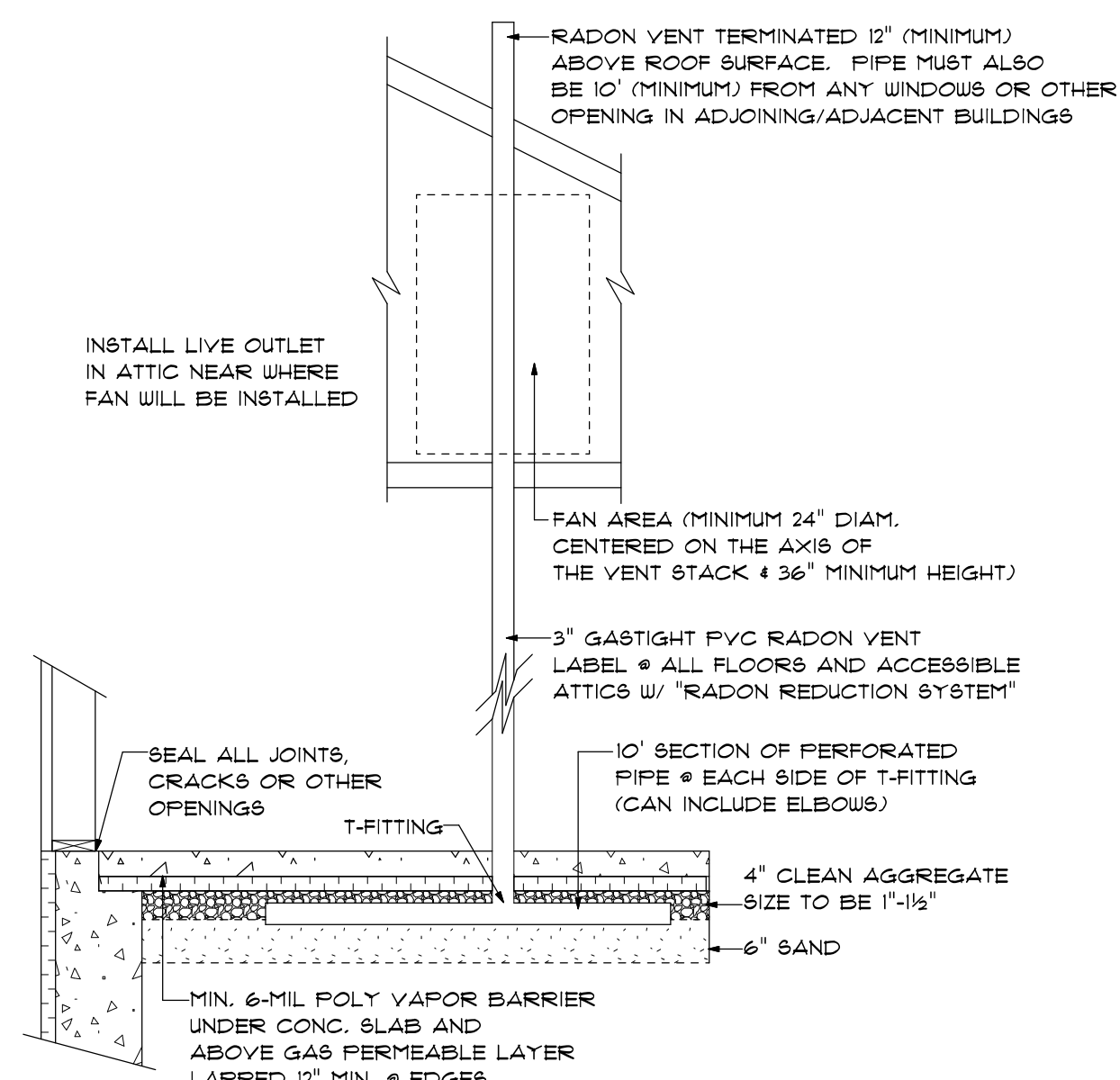
OUTSIDE CORNER DETAIL
SCALE: 1" = 1'-0"



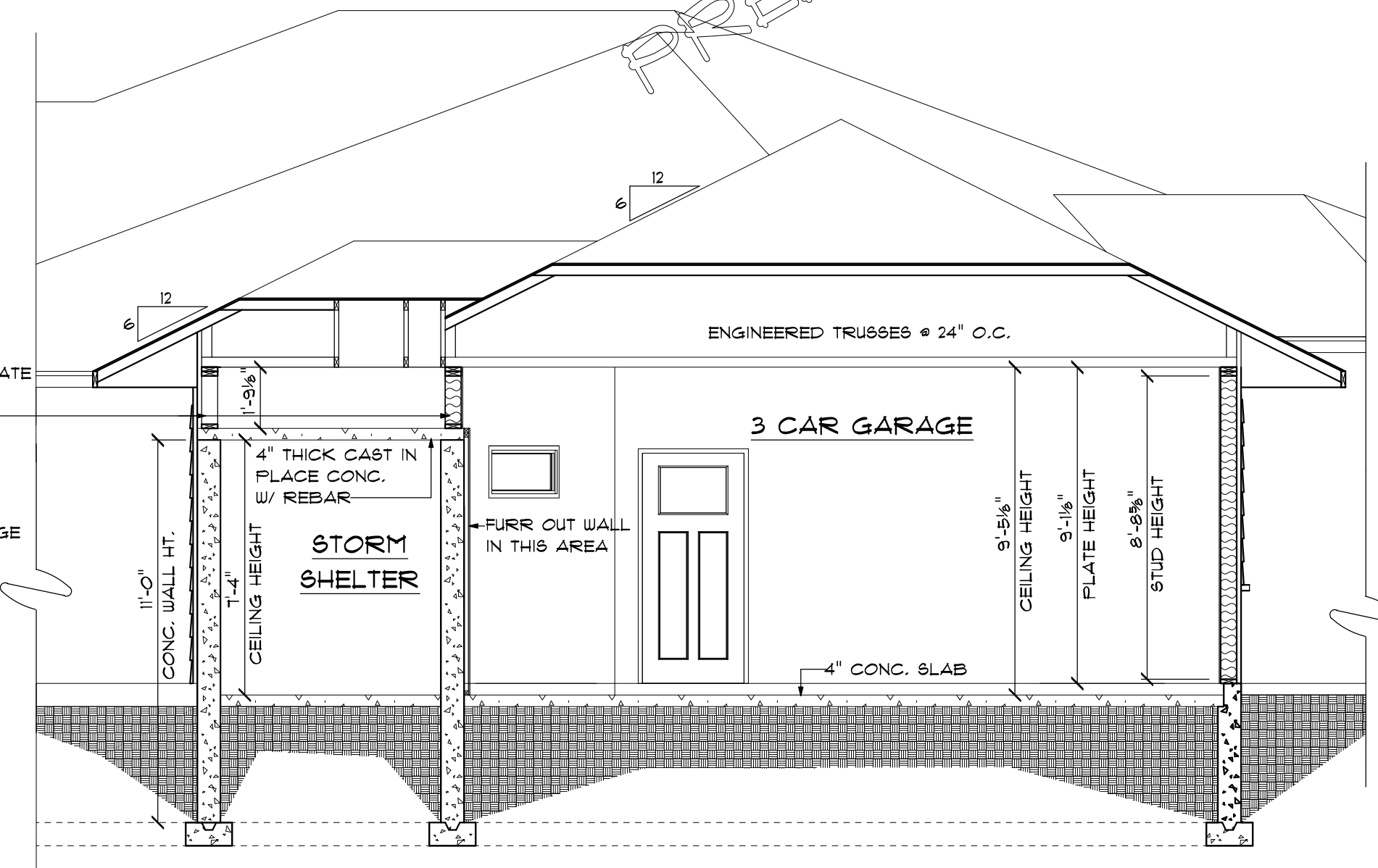
WALL @ ATTIC SPACE/CAN LIGHT
SCALE: 1" = 1'-0"



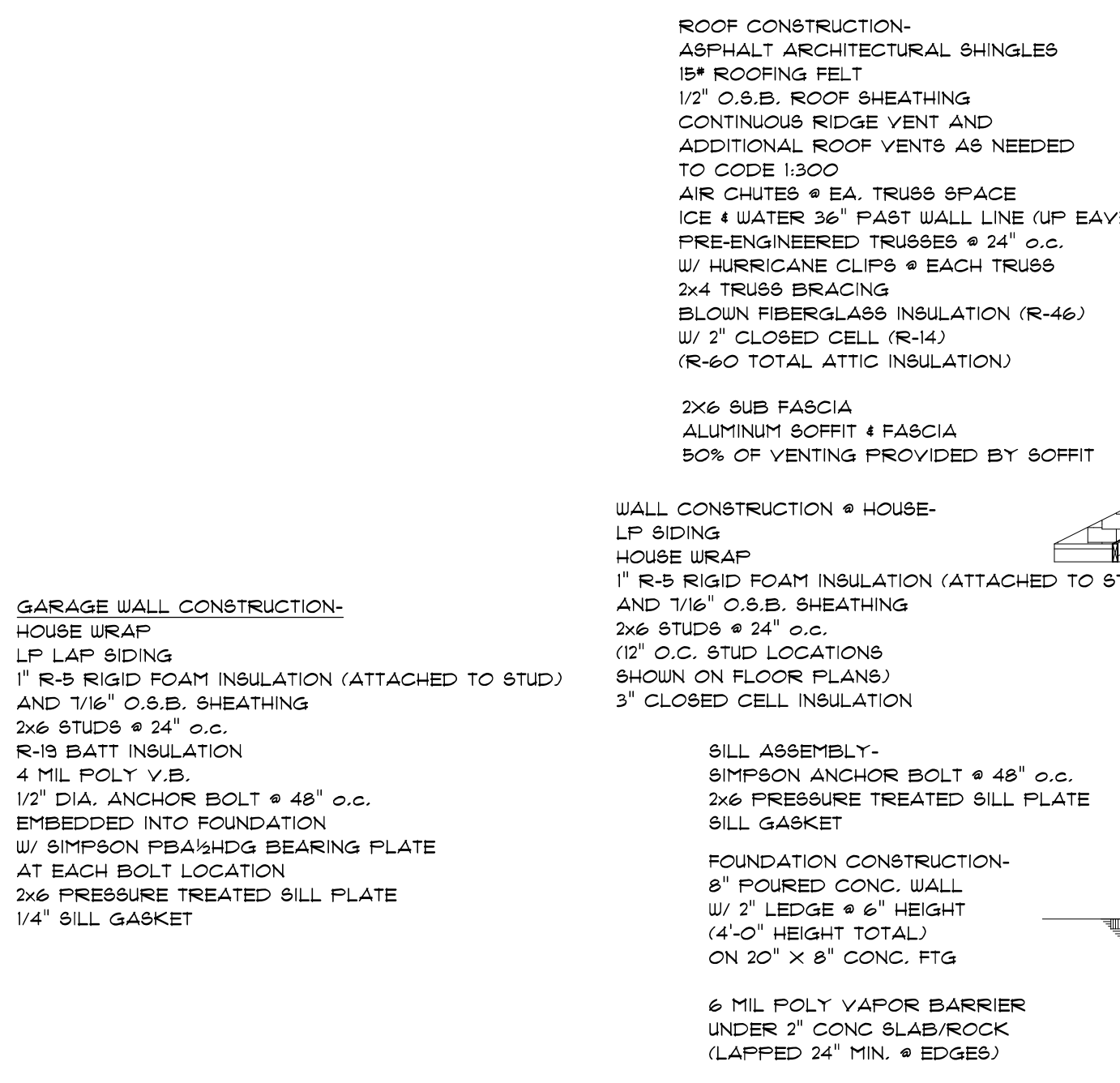
WALL INTERSECTION DETAIL
SCALE: 1" = 1'-0"



ACTIVE RADON SYSTEM
SCALE: 1/2" = 1'-0"



2 CROSS SECTION "B" (GARAGE)
A4 SCALE: 1/4" = 1'-0" (ON 24X36)
SCALE: 1/8" = 1'-0" (ON 11X17)



1 CROSS SECTION "A" (HOUSE)
A4 SCALE: 1/4" = 1'-0" (ON 24X36)
SCALE: 1/8" = 1'-0" (ON 11X17)

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. GENERAL CONTRACTOR & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. Distinctive Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

Distinctive Drafting and Design, LLC
ZIMMERMAN, MN 55998
OFFICE - 763.244.3552 DIRECT - 320.493.8719 FAX - 763.856.0045
www.distinctivedrafting.com

REVISION:
P-001
1-11-2014
P - PRELIMINARY
F - FINAL
C - CHANGE ORDER

PROJECT #
14-142
REVISED AS OF:

DRAWN BY:
NICOLE ELLIOTT
APPROVED BY:

SHEET
A4 OF 4